

**Union County High School  
Field House**

153 Panther Circle, Blairsville, Georgia 30512

**Addendum No. 1**

**December 5, 2019**

**Page 1 of 3**

CDH PARTNERS INC.  
675 Tower Road  
Marietta, Georgia 30060-6958  
770/423-0016 FAX 770/424-0260

Architect's Commission Number: 19097.00

*The Drawings for the above referenced project are amended as described below in the following items.*

**Drawings:**

**1.01 SHEET C110; GRADING & DRAINAGE PLAN SOUTH:**

- A. This sheet is re-issued and revised as shown by clouded outline indicated as Revision A, dated December 5, 2019, and is attached to this Addendum.
- B. Revised the proposed gas line route from the LP tank to the building in order to avoid storm line conflict as shown.

**1.02 SHEET C120; UTILITY PLAN SOUTH:**

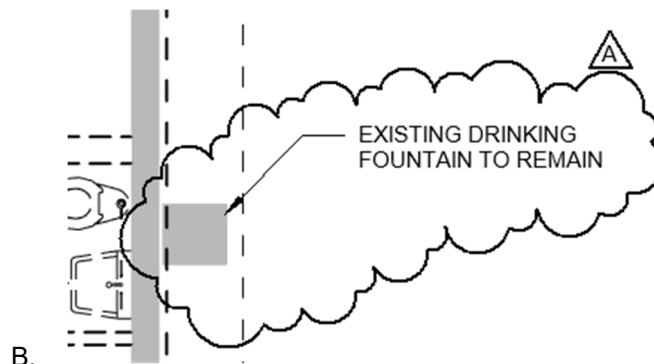
- A. This sheet is re-issued and revised as shown by clouded outline indicated as Revision A, dated December 5, 2019, and is attached to this Addendum.
- B. Revised the proposed gas line route from the LP tank to the building in order to avoid storm line conflict as shown.

**1.03 SHEET C130; INTERMEDIATE & FINAL EROSION, SEDIMENT & POLLUTION CONTROL PLAN SOUTH:**

- A. This sheet is re-issued and revised as shown by clouded outline indicated as Revision A, dated December 5, 2019, and is attached to this Addendum.
- B. Revised the proposed gas line route from the LP tank to the building in order to avoid storm line conflict as shown.
- C. Made the proposed utilities visible on this sheet.

**1.04 SHEET D101; DEMOLITION FLOOR PLAN - EXISTING FIELD HOUSE:**

- A. The drinking fountain in the existing varsity locker room has been noted; "EXISTING DRINKING FOUNTAIN TO REMAIN".



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**Addendum No. 1  
December 5, 2019  
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**1.05 SHEET A101; FLOOR PLAN – EXISTING FIELD HOUSE:**

- A. This sheet is re-issued and revised as shown by clouded outline indicated as Revision A, dated December 5, 2019, and is attached to this Addendum.
- B. Note #1 provided for new solid phenolic toilet partitions including design basis.
- C. Note tags provided for the new solid phenolic toilet partitions on the plans.
- D. Section tags for detail L4/A251 and L6/A251 have been provided to clarify location and extent of CMU water table conditions.
- E. 2X4 Acoustical Ceiling Tile added to CEILING TYPE NOTES.
- F. ACT ceiling tag added to CONFERENCE ROOM 114.
- G. Existing drinking fountain shown in TEAM AREA 125.

**1.06 SHEET A102; FLOOR PLAN – NEW FIELD HOUSE:**

- A. This sheet is re-issued and revised as shown by clouded outline indicated as Revision A, dated December 5, 2019, and is attached to this Addendum.
- B. Note #1 provided for new solid phenolic toilet partitions including design basis.
- C. Note tags provided for the new solid phenolic toilet partitions on the plans.
- D. 2X4 Acoustical Ceiling Tile added to CEILING TYPE NOTES.

**1.07 SHEET S101; FOUNDATION PLAN - EXISTING FIELD HOUSE RENOVATION:**

- A. The cross hatched areas shown at the existing column footings, as well as the reference to "NOTE 3", will be removed from the sheet.
- B. FOUNDATION PLAN NOTES: Note 3 – which states "EXISTING COLUMN HAIRPIN AND COLUMN FOOTINGS. DO NOT CUT SLAB IN HATCHED AREAS" no longer applies to this project and will be removed from the sheet.

**Clarifications:**

1. See clarifications to questions received regarding Union County High School Field House RFP attached.

2. Sitework Scope Clarification

As discussed in the pre-proposal meeting on November 19, 2019, the sitework for the new field house will be partially addressed under a separate contract. The following items are listed for clarification of scope in this contract versus those to be performed under a separate contract.

Separate Contract:

(See plans for location and extent)

- Provide 811 utility locate ticket and traffic control measures
- Field verify utilities as noted on C030
- Maintained, clean and repair initial erosion control measures at completion of project so that those measures are in working order for the next contractor.
- Installation of (2) 15" dual wall HDPE pipe at southwest corner of proposed new field house
- New Rip Rap apron and channel on the south side of the proposed building
- New CMP flared end section at existing storm pipe ends on the south side of the proposed building
- Installation of new sanitary line up to the limits of disturbance (sanitary sewer design by others) (
- Any other items noted on the plans as "UNDER SEPARATE CONTRACT"
- All applicable specifications

This Contract:

(See plans for location and extent)

- Provide 811 utility locate ticket and traffic control measures
- All field verifications, relocation and addition of temporary fence, site clearing and demolition notes and specifications on sheet C030
- Initial erosion control measures shown on sheet C030
- Intermediate and Final erosion control measures shown on sheet C130 and removal of any temporary initial erosion control measures at the appropriate time during construction.
- All items, other than those listed under separate contract, that are shown on the plans for inclusion in this project.
- All grading (rough/fine) not associated with the storm structures installed under separate contract.
- All applicable specifications
- It is the intent that all work under separate contract will be complete prior to start of construction for this contract.

**END OF ADDENDUM**

## CLARIFICATION RESPONSE

Clarifications to questions received regarding Union County High School Field House RFP.

1. In regard to specialties, the specifications state "See Drawings". I could not locate a specification for the toilet partitions; can you point me in the right direction or provide that specification?
  - **ANSWER: All toilet partitions on the plan that are not shown as CMU construction, shall be floor mounted solid phenolic partitions with heavy-duty stainless-steel hardware. Basis of design; ASI Global Partitions – Color-Thru. Color to be selected from manufacturers standard colors. Refer to Addendum No.1.**
2. The plans indicate that the existing lockers and rubber flooring should be salvaged for the Owner. Will we be directed on where to store those or will we need to provide a place?
  - **ANSWER: These items shall be turned over to the Owner who will coordinate location for storage.**
3. Do we need to provide a Builders Risk Insurance policy?
  - **ANSWER: Yes, Page 6 of the RFP and section 00 7311 provide information regarding the required builders risk insurance.**
4. Will LP tank at new field house be purchased or rented by the Owner or does the GC need to provide it?
  - **ANSWER: The LP tank(s) will be provided by the Owner. GC will locate and install owner provided tank(s).**
5. Will the Owner provide electrical service to the new field house or will this be the GC's responsibility?
  - **ANSWER: Refer to section 01 5000 for temporary utilities. Contractor to use Owner's existing utilities. No temporary meters required.**
6. Will the Owner pay for the relocation of the telecom, gas tanks, electrical service at the existing field house or will that be part of the GC's scope?
  - **ANSWER: The Owner will provide telecom / fiber and gas tanks. The electrical service will be under the GC scope per requirements of BRMEMC.**
7. Section C4 on sheet A251 indicates that the Owner will stain the exterior pressure treated wood on the porches. Is this correct?
  - **ANSWER: Yes, the Owner will stain the exposed pressure treated framing at a later date.**
8. Sheet M201 shows air handlers in the Showers area of the new field house with a note that says "AHU above accessible ceiling" but detail L9 on sheet A251 shows a sloping ceiling. Please clarify AHU location and/or ceiling construction.
  - **ANSWER: All units in the new field house will be mounted below the new ceilings since there is not enough space to conceal above the sloped ceilings. A minimum head clearance of 7'-6" (preferably 8'-0") shall be maintained under all new equipment. GC to verify with new equipment.**

9. The partition divides the two Viewing Rooms in the new field house is marked as going all the way up to the roof deck. Is that indeed the case or can it just go to the ceiling?
- **ANSWER: For the new field house, the dividing partition between "Viewing Room 130" and "Viewing Room 131" can stop at the underside of the wood trusses.**
10. The plans don't show any trim at the intersection of the walls and ceilings. It is going to be difficult to get this joint tight enough to not need a simple 1x trim to cover the gap. Please clarify if you want any trim around the top and/or bottom of walls.
- **ANSWER: The intent is for all walls to extend above ceiling. Therefore, all ceilings shall terminate at the new walls, eliminating the need for additional trim.**
11. G001 says the Sanitary Napkin Disposals should only be in female toilets but I can't find where the toilet type is specified? Can you please clarify which toilets need the Sanitary Napkin Disposals?
- **ANSWER: Toilet Accessory 'G' - sanitary napkin disposal, will be provided and installed by the Owner.**
12. I can't locate a specification for what material should be used for the toilet partitions. Can you please clarify?
- **ANSWER: See response to question #1 above.**
13. Please confirm that sheets C520 and C521 were intentionally left blank.
- **ANSWER: Sheets C520 & C521 include standard details and are NOT blank. The electronic files included with the Proposal documents include the appropriate information. This may have to do with the software used to open/view the file.**
14. The existing PT/Storage Room on P101 currently has two washers, two dryers, and an ice machine located in it but the removal of these is not stipulated on the demolition plan. Please confirm that these items along with the associated plumbing and electrical shall be removed.
- **ANSWER: The Owner will remove/relocate the equipment prior to construction. The GC will be responsible for demolishing plumbing and electrical associated with equipment that is removed.**
15. There is a water cooler in the existing field house Locker Room 107 that isn't indicated on the plans. Shall this cooler be replaced or removed?
- **ANSWER: The existing water cooler in Locker Room 107 shall remain.**
16. S101 shows hatched areas which are indicated to be areas that the floor can not be cut due to the structural nature of the area but some of these areas will have to be cut in order to get the new plumbing drains installed. Please confirm that these areas can indeed be cut.
- **ANSWER: Upon further review with the Structural Engineer, the cross hatched areas, as well as the reference to "NOTE 3", will be removed from sheet S101. Note #3 no longer applies. Therefore, the slab can be cut as required for the new plumbing. Refer to Addendum No.1.**

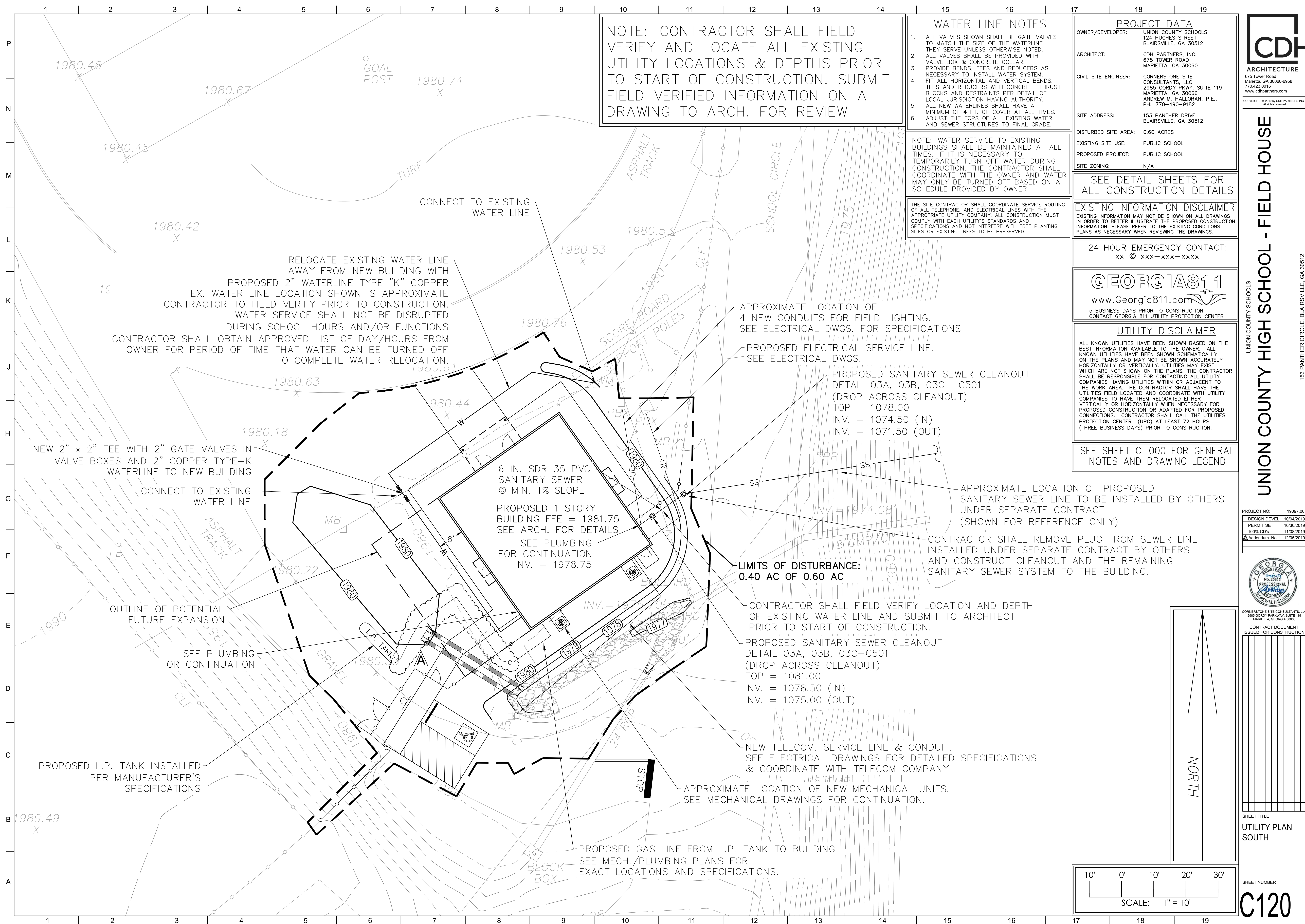
17. Section L6 on sheet A251 shows laying the block water table on the existing field house on an existing sidewalk but detail 13 on sheet S301 shows a new footing being poured for the block water table to rest on. Also, there is no existing sidewalk down the west end of the building to put the table on. Please advise.
- **ANSWER: Detail L6/A251 shall apply where new CMU water table is placed over existing sidewalks. Otherwise detail L4/A251 and 13/S301 shall apply. Refer to Addendum No.1.**
18. There is a new wall shown to be constructed in the existing Conference Room and the plans indicate that this wall should go all the way to the roof deck. Please confirm that this wall needs to go to the roof deck and not just to the existing ceiling framing.
- **ANSWER: In lieu of this wall extending to the structure, this wall shall extend just above the ceiling.**
19. The area that is currently the existing Conference Room and the Coach's Locker Room will be joined into different rooms but I am confused as to how you want these spaces finished. The new wall is shown to have OSB on it while the existing Coach's Locker Room has 4x8 sheets of wood paneling with the back wall of the existing Conference Room having metal liner panels and yet another wall is concrete block. Please clarify.
- **ANSWER: The new finishes shown in these areas are intended to be coordinated with the new scope only. Where existing finishes are unaffected by the new scope, the intent is for the existing finishes to remain. "Conference Room 114" shall receive a new 2x4 ACT ceiling. Refer to Addendum No.1.**
20. Will the Owner pay the City of Blairsville for the new water meter at the existing fieldhouse?
- **ANSWER: Yes, the Owner will pay water tap fees**
21. Will the Owner pay the City of Blairsville for the sewer tap fee on the new field house since it was previously on a private system?
- **ANSWER: Yes, the Owner will pay sewer tap fees**
22. Will the Owner be handling concrete testing?
- **ANSWER: Yes, the Owner will handle testing.**
23. Please clarify what the ceiling finish will be at the covered area outside of Door 105B in the existing field house.
- **ANSWER: The ceiling will be exposed structure. Similar to the other gabled entries, the exposed wood will be stained by the owner at a later time.**
24. D101 shows removing the exterior wall panels where the new addition will be constructed on the existing field house. There is a section of wall outside Door 123 and a wall in the Laundry Room that will not have a finish on it after these panels are removed. Can you please clarify how to finish these walls?
- **ANSWER: Only remove existing metal panels where not exposed inside the new addition. Leave existing metal panels where they will be visible. The intent for removing and salvaging these metal panels is so they can be used to patch openings and for use where shown inside the new gabled entries.**

25. Please confirm that all of the utility relocation and installing a new water line and meter for the existing field house will only be done if the addition is constructed. The way I am reading the plans is that if only the existing building is renovated then the utility work will not be part of the scope of work and we will utilize existing utilities. Is that correct?
- **ANSWER:** *The relocation of existing utilities at the existing field house is tied to the new addition alternate. However, the water service for the existing building is undersized. Therefore, the inclusion of any additional plumbing fixtures, either in the existing space or in the new addition to the existing space, will require the new water service.*
26. Will there would be a panel schedule generated by the engineer or will the electrical subcontractor need to plan on doing that on his own?
- **ANSWER:** *The panel schedules are located on sheet E002. For the existing field house, where loads are listed as "existing load", it will be the responsibility of the contractor to identify the existing loads and provide a type written schedule for the existing circuits.*
27. Can you please clarify and/or confirm exactly what materials you are expecting with regard to roofing panels, metal trim, and wall panels on both buildings?
- **ANSWER:**
    - i. **Existing Field House**
      - 1. **Roofing:** *For pricing purposes, the intent is for the GC to provide and install a metal roofing product that is comparable to the existing metal roofing with regard to profile and attachment. The material shall be aluminum with manufacturer's standard two-coat fluoropolymer finish. (All value engineering options will be discussed with the selected GC after award).*
    - ii. **New Field House**
      - 1. **Roofing:** *Shall be as specified. See note 'C' on sheet A151. The material shall be aluminum with manufacturer's standard two-coat fluoropolymer finish. Color to match the new roofing for the existing field house. (All value engineering options will be discussed with the selected GC after award).*
    - iii. **Metal Trim, Gutters, & Downspouts**
      - 1. *Shall be aluminum as specified. The two-coat fluoropolymer finish will be selected to match the roof.*
    - iv. **Wall Panels**
      - 1. *For pricing purposes, provide aluminum panel with similar profile to the metal wall panels on the existing field house. Provide manufacturer's standard two-coat fluoropolymer (Kynar) finish. Color will be selected to match the metal wall panels on the existing field house. (All value engineering options will be discussed with the selected GC after award).*





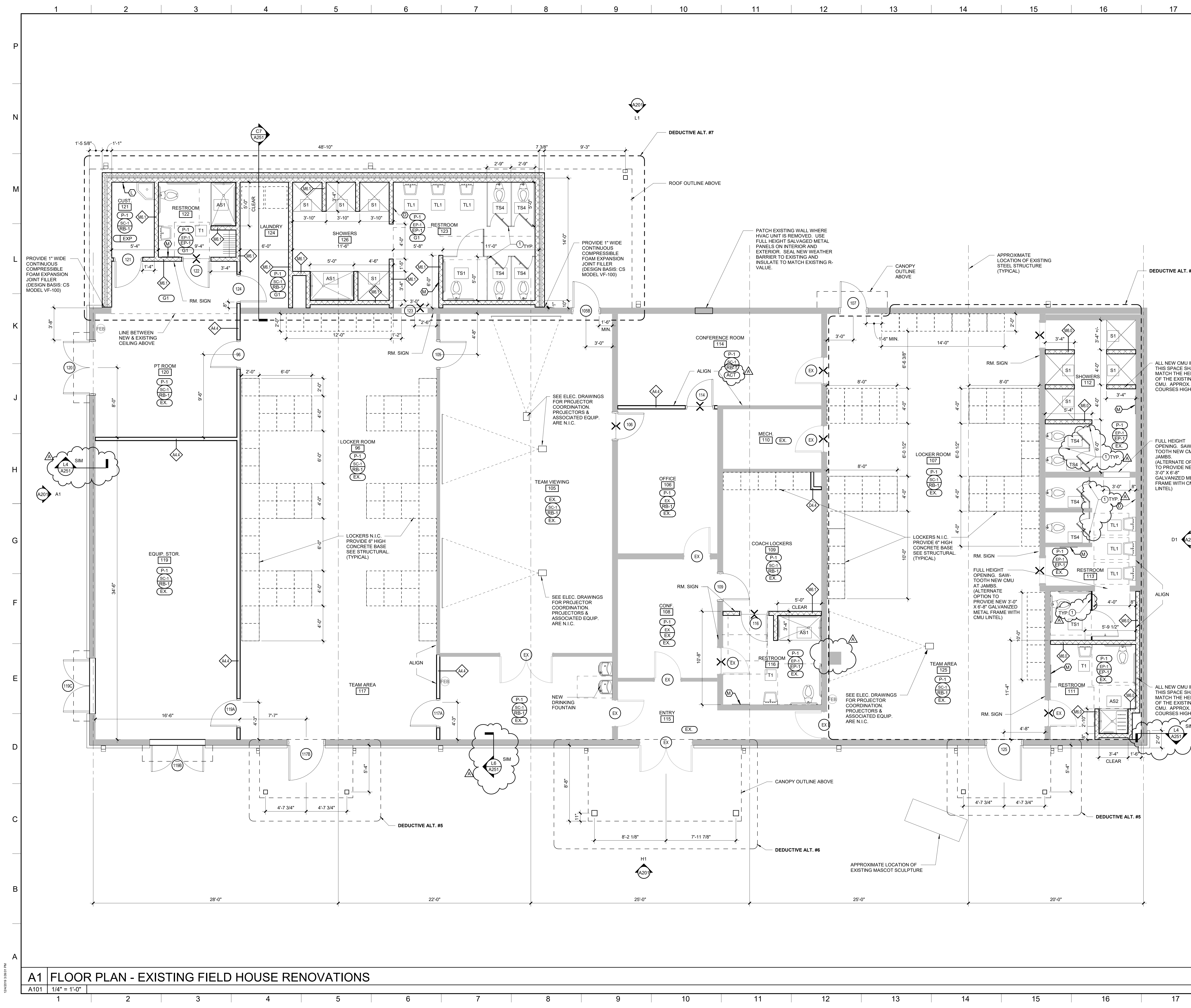












**GENERAL NOTES**

A. INTERIOR FINISHES  
- NEW OSB WALLS  
- NEW CMU WALLS  
- NEW CEILINGS  
- FLOORS  
- WALL BASE  
- CONC.

EPOXY PAINT  
EPOXY PAINT  
ACOUSTICAL  
NONE  
SEALED

B. LOCKERS ARE NOT IN CONTRACT AND WILL BE PROVIDED SEPARATELY BY THE OWNER

C. PROVIDE TERMITE CONTROL UNDER NEW SLAB

D. INTERIOR CMU BLOCK WALLS TO BE BULLNOSE OUTSIDE CORNERS AND AT OPENINGS.

E. PROVIDE SPLASHBLOCK AT EACH DOWNSPOUT LOCATION.

**INTERIOR GENERAL NOTES**

A. NEW FINISHES ARE NOTED AS BASIS OF DESIGN. SUBSTITUTIONS WILL BE CONSIDERED FOR EQUAL PRODUCTS. SUCH PRODUCTS SHALL NOT BE USED WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.

B. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT MAY AFFECT APPLICATION OF FINISHES, INCLUDING DISCONTINUED OR DELAYED MATERIALS PRIOR TO ANY PROCEEDINGS. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR ARCHITECT APPROVAL.

C. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

D. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONDITION OF FINISHES SCHEDULED TO REMAIN IN CASE ANY SUCH FINISHES BE DAMAGED DURING CONSTRUCTION. PATCH AND REPAIR TO THEIR ORIGINAL CONDITION.

E. ALL MATERIALS TO BE INSTALLED WITH METHODS AND PRODUCTS RECOMMENDED BY THE MANUFACTURER.

F. INSTALLER SHALL EXAMINE CONDITIONS OF SURFACES ON WHICH NEW FINISHES ARE TO BE INSTALLED. CONTRACTOR TO NOTIFY DESIGNER IMMEDIATELY OF ANY DEVIATIONS. BEGINNING OF WORK SHALL CONSTITUTE ACCEPTANCE OF SURFACES AS SATISFACTORY. PREPARE ALL SURFACES SCHEDULED TO RECEIVE NEW FINISHES TO BE SMOOTH, EVEN AND FREE OF IMPERFECTIONS.

G. CONTRACTOR TO APPROVE ALL NEW FINISHES AGAINST DEFECTS. IF ANY DEFECTS IN MATERIALS ARE FOUND, DO NOT PROCEED WITH INSTALLATION. NOTIFY THE MANUFACTURER AND DESIGNER IMMEDIATELY.

H. PAINT HOLLOW METAL AND PAINT GRADE DOORS AND FRAMES SEMI-GLOSS, U.N.O.

I. ALL WALLS TO BE PAINTED EGGSHELL FINISH U.N.O. ALL SOFFITS, HEADERS AND CEILINGS TO BE PAINTED FLAT FINISH U.N.O.

J. ALL ACCESS PANELS, GRILLS, ETC ON WALL OR CEILING IN SCOPE TO BE PRIMED AND PAINTED TO MATCH ADJACENT SURFACE COLOR.

K. ALL WALLS IN JANITOR CLOSETS AND RESTROOMS TO BE SEMI-GLOSS FINISH UNLESS NOTED OTHERWISE.

**FINISH SCHEDULE**

FLOOR  
EP-1 EPOXY FLOOR PAINT - SW INDUSTRIAL HIGH BUILD SYSTEM (PRIMER & TOP COAT ONLY) - COLOR TBD  
SC-1 SEALED CONCRETE

PAINT  
P-1 EPOXY PAINT - SHERWIN WILLIAMS - COLOR TBD  
P-2 CEILING - SHERWIN WILLIAMS - COLOR TBD  
P-3 EPOXY PAINT - SHERWIN WILLIAMS - COLOR TBD

WALL BASE  
EP-1 EPOXY 4" COVE BASE - SW INDUSTRIAL HIGH BUILD SYSTEM (PRIMER & TOP COAT ONLY) - COLOR TBD  
RB-1 4" CONTINUOUS ROLL COVE, NOT STRIPS, NO PREFABRICATED CORNERS. COLOR TBD

**FINISH SYMBOLS**

WALL FINISH

FLOOR FINISH

FLOOR FINISH TRANSITION

**CEILING TYPE NOTES**

CEILING TYPE

CEILING HEIGHT

G1 MOISTURE RESISTANT 5/8" GYPSUM

OSB 5/8" OSB PANELING

EX EXISTING TO REMAIN

ACT 24" ACOUSTICAL CEILING TILE & 15/16" SUSPENSION GRID SYSTEM DESIGN BASIS: USG RADAR 2310 DIXIDL

**TOILET LAYOUT LEGEND**

T1 SEE SHEET G001 FOR TOILET ACCESSORY INFORMATION.

**PARTITION LEGEND**

EXISTING WALL TO REMAIN

NEW WALL

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UNION COUNTY SCHOOLS

**UNION COUNTY HIGH SCHOOL - FIELD HOUSE**

153 Panther Circle, Blaisville, GA 30512

PROJECT NO: 19097.00

DESIGN DEVELOP	10/04/2019
PERMIT SET	10/30/2019
100% CD'S	11/08/2019

STATE OF GEORGIA  
MELISSA ANN  
12-5-15  
REGISTERED ARCHITECT

CONTRACT DOCUMENT  
ISSUED FOR CONSTRUCTION

12/05/2019

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17
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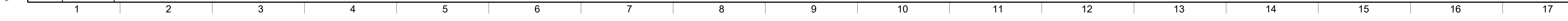
SHEET TITLE

**FLOOR PLAN - EXISTING FIELD HOUSE**

SHEET NUMBER

**A101**

A1 FLOOR PLAN - EXISTING FIELD HOUSE RENOVATIONS





# A102

 EXISTING WALL TO REMAIN  
 NEW WALL

