

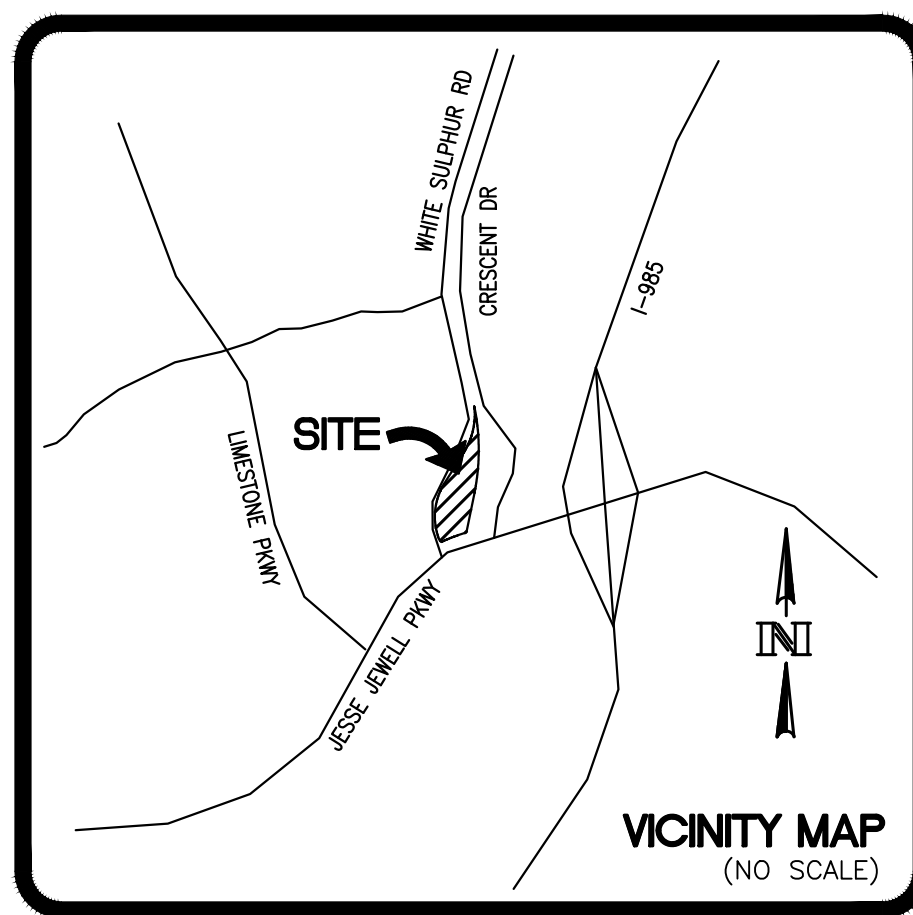
SITE PLANS FOR
NEW HOLLAND CROSSING
LOT 3
XTREME CLEAN AUTO SPA

ZONING: G-B

9th DISTRICT
LAND LOT 123

CITY OF GAINESVILLE
HALL COUNTY, GEORGIA
TAX PARCEL : 09123 000008 (part)

SITE ADDRESS:
616 WHITE SULPHUR ROAD
GAINESVILLE, GA 30501



OWNER/DEVELOPER:
XTREME CLEAN AUTO SPA
CONTACT: BRENT GARRETT
PHONE: 770-534-9173

DESIGNER:
MYERS & CO., INC.
P.O. BOX 634
GAINESVILLE, GEORGIA 30503
PHONE: (770) 297-9793
CONTACT: ED MYERS

CONTRACTOR:
WINKLER & WINKLER
423 BOWLING GAP CIRCLE
BLAIRSVILLE, GA 30512
PHONE: 706-835-1458
24 HOUR CONTACT: CHAD WINKLER



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
325-5000
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW

NOTE: CONTRACTOR TO NOTIFY THE UTILITIES PROTECTION CENTER 72 HOURS PRIOR TO STARTING CONSTRUCTION 1-800-282-7411, MONDAY THRU FRIDAY 7:00 A.M. TO 4:30 P.M.

GENERAL NOTES:

- TOTAL ACREAGE OF SITE = 1.98 AC.
DISTURBED AREA = 1.5 AC
TOTAL IMPERVIOUS AREA = 55%.
- PROPERTY IS ZONED G-B.
- BOUNDARY INFORMATION BASED ON PLAT BY PATTON LAND SURVEYING, INC. DATED 09-29-2017.
- TOPOGRAPHIC INFORMATION BASED ON MEAN SEA LEVEL AND IS A COMBINATION OF HALL COUNTY GIS AND FIELD RUN TOPOGRAPHIC SURVEY.
- NO PORTION OF THIS SITE IS LOCATED WITHIN A ZONE A FLOOD HAZARD ZONE AS DEFINED ON F.I.R.M. MAPS FOR HALL COUNTY. REFER TO PANEL NO. 13139 C 0183 F DATED SEPTEMBER 29, 2006.
- THE MAXIMUM BUILDING HEIGHT IS 35'.
- ALL CONSTRUCTION TO COMPLY WITH CITY OF GAINESVILLE STANDARDS.
- SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, AND OTHER ARCHITECTURAL DETAILS.
- HANDICAP PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL NOT BE OBSCURED BY VEHICLES PARKING IN THE SPACES.
- NOTIFY CITY OF GAINESVILLE INSPECTIONS 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- SIGNS (LOCATION, NUMBER AND/OR SIZE) ARE NOT APPROVED UNDER THIS BUILDING PERMIT. A SEPARATE PERMIT IS REQUIRED FOR EACH SIGN.
- ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
- THE LOCATIONS OF ALL BUILDINGS FROM PROPERTY LINES AND OTHER BUILDINGS SHALL COMPLY WITH THE HEIGHT AND AREA LIMITATIONS OF TABLE 500 AND THE FIRE RESISTIVE REQUIREMENTS OF TABLE 600 OF THE 1994 STANDARD BUILDING CODE WITH 2000 STATE OF GEORGIA AMENDMENTS BASED ON OCCUPANCY GROUP CLASSIFICATIONS AND TYPES OF CONSTRUCTION.
- SANITARY SEWER SERVICE PROVIDED BY CITY OF GAINESVILLE.
- WATER PROVIDED BY CITY OF GAINESVILLE.
- HYDROLOGY STUDY IS PROVIDED FOR THIS DEVELOPMENT PER REPORT BY MYERS & CO., INC. DATED 11-1-17.
- SOILS INFORMATION TAKEN FROM USDA SOIL SURVEY DATED APRIL 1972 BARROW, HALL, AND JACKSON CO.
- ALL LIGHTING TO BE LOW-LEVEL, NON-SPILL.
- THE CONTRACTOR WILL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF WATER RESOURCES AT 470-248-8370 PRIOR TO BEGINNING WORK.
- THE PROPERTY IS LOCATED WITHIN THE LIMESTONE OVERLAY ZONE.

First Reading: 08/01/2017
Passed: 08/15/2017

AN ORDINANCE
No. 2017-22

AN ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF GAINESVILLE, GEORGIA BY ESTABLISHING THE ZONING OF A 0.24 ACRES TRACT LOCATED ON THE NORTHEAST SIDE OF THE INTERSECTION OF JESSE JEWELL PARKWAY AND WHITE SULPHUR ROAD (AKA I-90 WHITE SULPHUR ROAD) AT THE TIME OF ANNEXATION AS GENERAL BUSINESS, WITH CONDITIONS (G-B-C); REPEALING CONFLICTING ORDINANCES; TO PROVIDE FOR SEVERABILITY; TO PROVIDE FOR AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

(Amendment to Zoning Map)

BE IT HEREBY ORDAINED BY THE GOVERNING BODY OF THE CITY OF GAINESVILLE, GEORGIA, AS FOLLOWS:

SECTION I.

That from and after the passage of this Ordinance the following described lands shall be zoned and so designated on the Zoning Map of the City of Gainesville as General Business, with conditions (G-B-C):

Conditions

- Prohibited commercial uses shall include motels or hotels with rooms accessed from the exterior of the building, adult novelty stores, adult entertainment centers, pawn shops, gas stations, the stores, message perfume except for practitioners licensed by the State of Georgia, vending stores, auto body shops, automobile sale establishments, motor sales or repair stores, non-climate controlled mini-warehouse or storage facilities, tattoo parlors, psychic, fortune tellers, clairvoyance and the like.
- The exterior of the buildings shall be constructed with brick, stone or masonry finish on all sides visible from a public street and will comply with the Limestone Parkway Overlay Zone standards and Architectural Design Guidelines stated within the Gainesville Unified Land Development Code. The final design shall be subject to the Community Development Department Director approval.
- The proposed development shall be limited to one free standing sign per lot. Each sign shall be limited to a maximum height of 10 feet, maximum sign face area of 50 square feet, maximum sign structure area of 50 square feet with internal or indirect lighting. No electronic changeable copy signs shall be permitted. The purpose of these sign standards is to provide for consistency with the adjacent New Holland Market development.

Page 1 of 3

ORDINANCE NO. 2017-22

- Prior to a permit being issued, the developer shall provide a traffic study and coordinate with the Georgia Department of Transportation (GDOT) Traffic Division to determine the traffic development impacts on the intersection of SR 368 / Jesse Jewell Parkway and White Sulphur Road and to determine whether the existing turn lanes will accommodate the future traffic generated by the development.
- All access point design for the subject property shall require approval by the Georgia Department of Transportation in conjunction with the Gainesville Public Works Director. All required access / traffic / sidewalk improvements associated with the proposed development shall be at the full expense of the developer / property owner.
- The location of all other uses not considered a restaurant shall be located on Lot 2 or Lot 3 as shown on the concept plan submitted with the annexation application.
- The proposed lot containing the automated car wash shall have a minimum twenty-foot (20') wide frontage landscape buffer along White Sulphur Road. The number, location, spacing, size and type of trees planted shall be subject to Community Development Department Director approval.

Local Description

All that certain piece, parcel or tract of land located in Hall County, Georgia, containing approximately 0.24 acres and shown on a Composite Map Prepared for the Property of Dawling Mission, Incorporated, New Holland Mill, with a last revision date of November 15, 2005 and described as follows:

Beginning at an iron pin located in the eastern right of way of White Sulphur Road at its intersection with Jesse Jewell Parkway and running thence along a curve having a radius of 641.21 feet, an arc length of 616.47 feet, and a chord bearing and distance of N 55-55-56 E 563.00 feet to an iron pin, thence continuing along said right of way, N 55-38-50 E 337.13 feet to an iron pin located in the western right of way of Southern Railroad, thence along said right of way along a curve having a radius of 701.20 feet, an arc length of 352.55 feet, and a chord bearing and distance of N 10-52-50 S 461.00 feet to an iron pin, thence along the railroad right of way along a curve having a radius of 2258.05 feet, an arc length of 755.05 feet, and a chord bearing and distance of S 91-32-31 W 728.62 feet, thence continuing along said right of way S 11-30-50 W 407.54 feet to an iron pin located in the northern right of way of Jesse Jewell Parkway, thence along the railroad, thence along the northern right of way of Jesse Jewell Parkway the following three courses and distances: S 1-02-50 W 66.14 feet to an iron pin, thence along a curve S 89-25-32 W 65.47 feet, thence N 17-58-38 W 103.26 feet to the Point of Beginning.

The annexation is to include all that portion of right-of-way known as Jesse Jewell Parkway and White Sulphur Road located between the subject property and the existing city limits of Gainesville.

SECTION II.

All Ordinances and parts of Ordinances in conflict herewith are hereby repealed.

Page 2 of 3

SHEET INDEX

CIVIL PLANS

C-1	COVER SHEET
C-2	EXISTING SITE PLAN
C-3	PROPOSED SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING / STORM PLAN
C-6	LANDSCAPING PLAN

EROSION CONTROL PLANS

EC-1	INITIAL EROSION CONTROL PLAN
EC-2	INTERMEDIATE / FINAL EROSION CONTROL PLAN
EC-3	NPDES EROSION CONTROL PLAN NOTES
EC-4	EROSION CONTROL DETAILS

DEVELOPMENT SERVICES PERMITTING DISCLAIMER

THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING, HAVE BEEN MET. THE ONUS IS ON THE OWNER / DEVELOPER / BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, POLICIES, STANDARDS OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

OSHA DISCLAIMER

CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. PROPER SAFETY PROCEDURES ARE OF SPECIAL CONCERN ON THIS PROJECT CONSIDERING THAT WORKERS WILL BE IN OPEN TRENCHES FOR A PORTION OF THE SCOPE OF WORK ON THIS SITE.

UTILITIES DISCLAIMER

EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATION FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT DESIGNER PRIOR TO CONSTRUCTION. DAMAGE TO ANY EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.

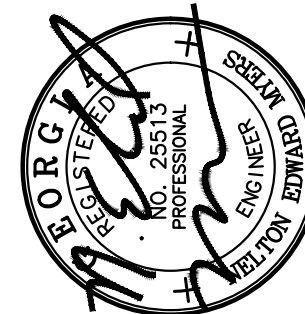
WETLAND PROTECTION

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY HALL COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLANDS DISTURBANCE.

Copyright

MYERS & CO., INC.
ALL RIGHTS RESERVED.
This drawing is the sole property of Myers & Co., Inc. and is not to be reproduced, copied, or stored in any retrieval system, without the prior written permission of Myers & Co., Inc. Any unauthorized use, reproduction, or distribution of this drawing is strictly prohibited.

Seal



CSWCC#21552

MYERS & CO.
civil engineers

P.O. BOX 634
GAINESVILLE, GA 30503
770-297-9793
ed@myers-and-co.com

Project Description

NEW HOLLAND CROSSING
LOT 3

XTREME CLEAN AUTO SPA

LAND LOT 123
9TH LAND DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

DATE 1-31-18

JOB NO. 18-02

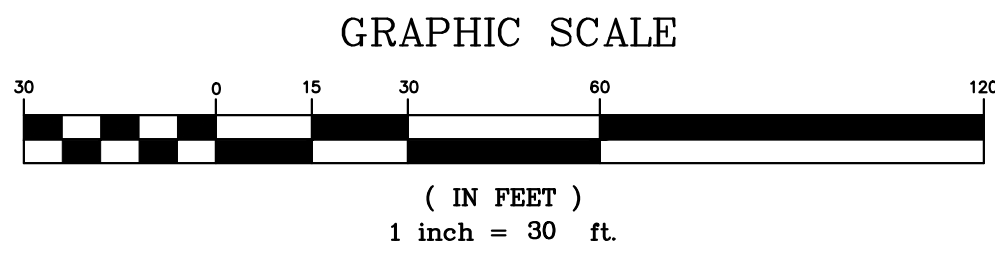
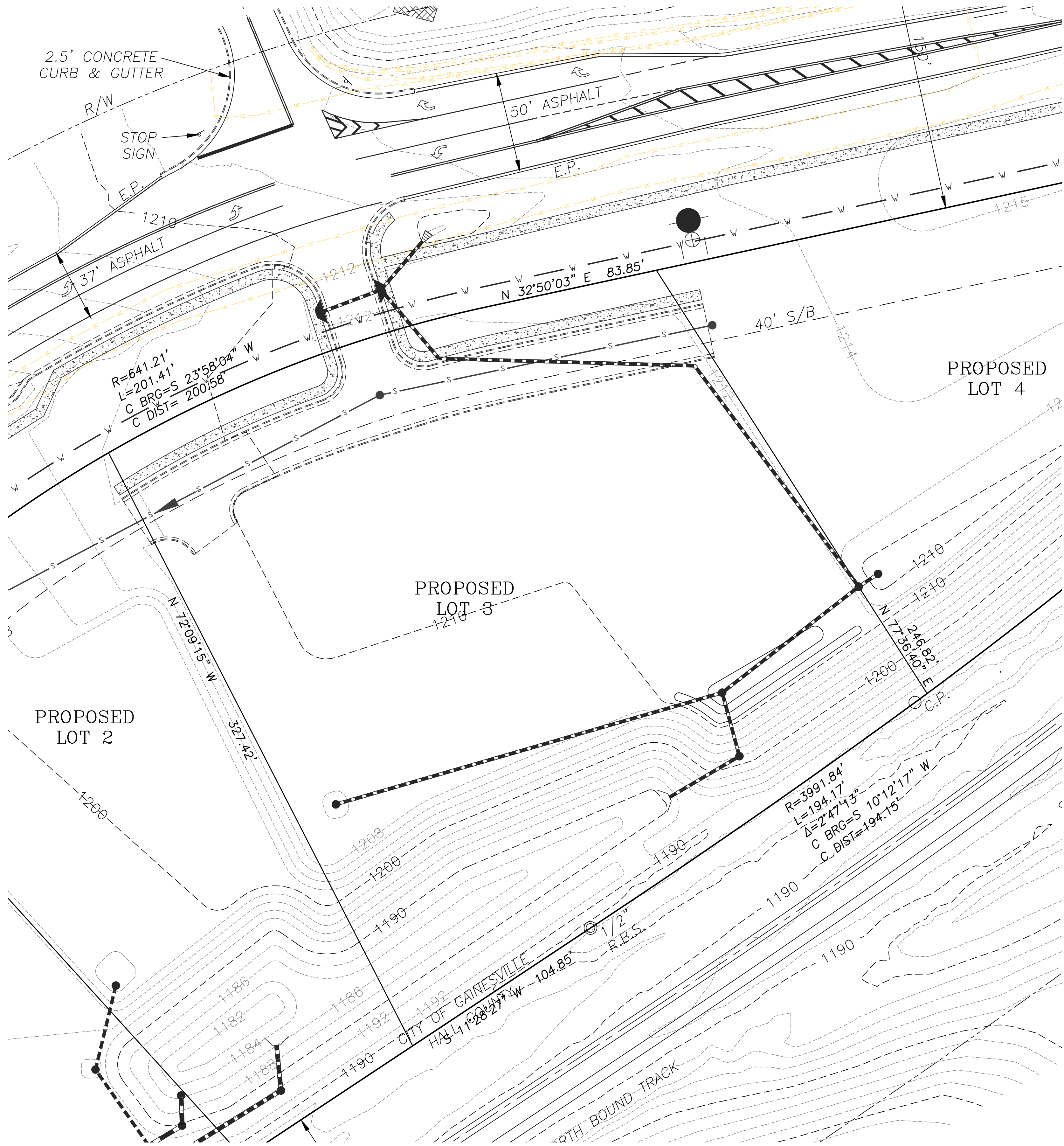
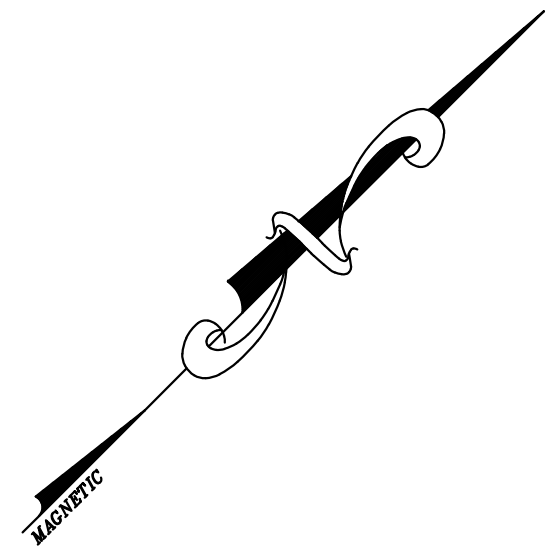
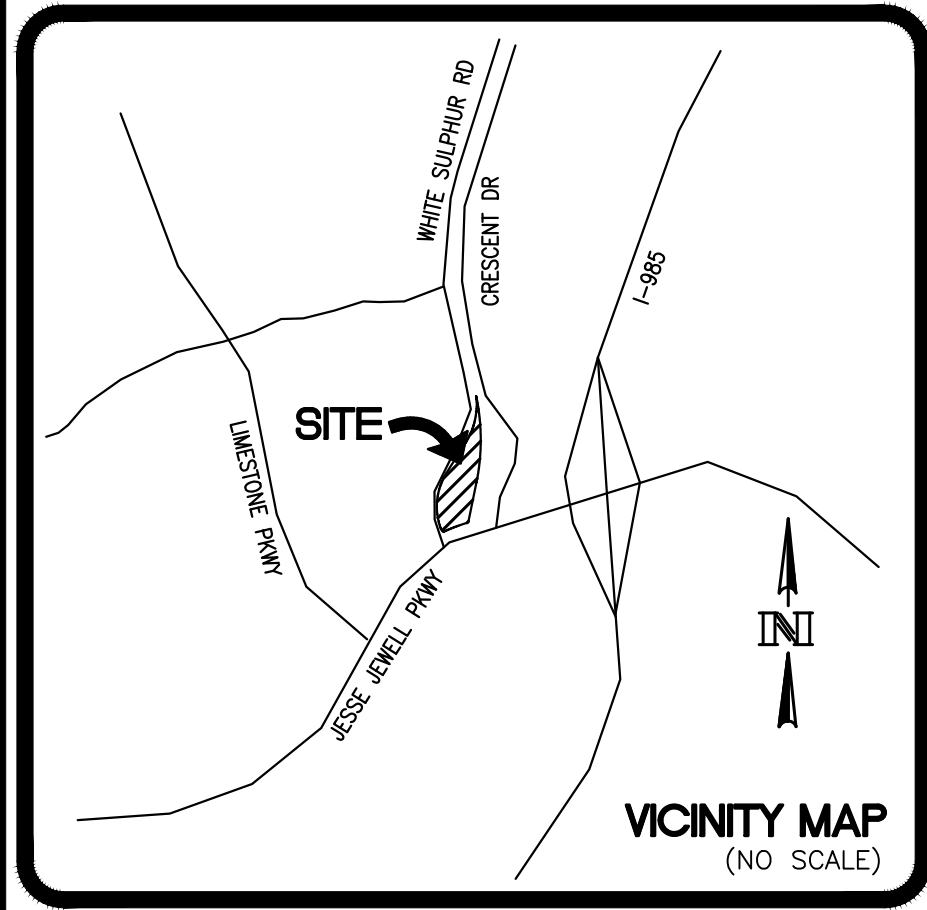
Sheet Title

COVER SHEET

Revisions

SHEET

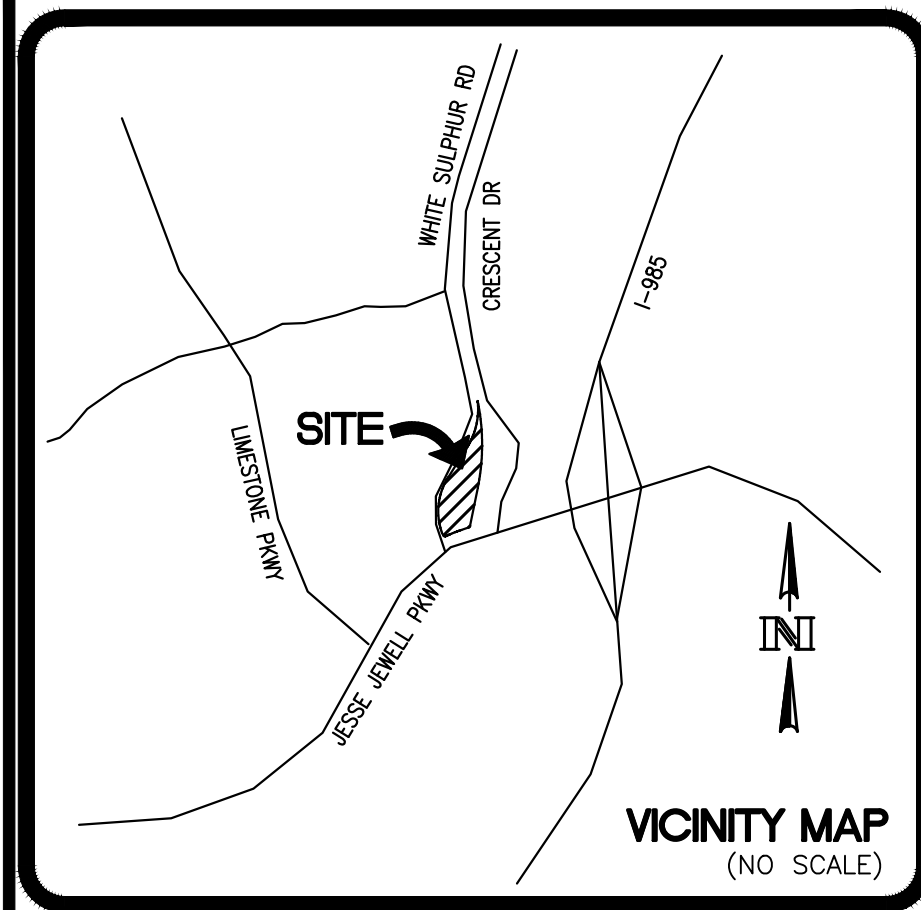
C-1



Revisions		DATE	1-31-18
SHEET		JOB NO.	18-02
C-2		Sheet Title	EXISTING SITE
Project Description NEW HOLLAND CROSSING LOT 3 XTREME CLEAN AUTO SPA LAND LOT 123 9TH LAND DISTRICT CITY OF GAINESVILLE HALL COUNTY, GEORGIA			
MYERS & CO. civil engineers P.O. BOX 634 GAINESVILLE, GA 30603 770-297-9793 ed@myers-and-co.com			
Seal		CSWCC#21552 1-31-18	
Copyright MYERS & CO. 2018 ANY, INC. ALL RIGHTS RESERVED. This drawing is the sole property of Myers & Co. and is to be used only for the specific project and location identified herein. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or in any way without the written permission of Myers & Co.			

UTILITY DISCLAIMER

EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. DAMAGE TO EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.



SEWER FLOW ESTIMATION:

LOT 3 = AUTOMATIC CAR WASH

CAR WASH @ 400 GPD

TOTAL AVERAGE DAILEY FLOW = 400 GPD
PEAK RATE 2.5 X AVG FLOW = 1,000 GPD PEAK FLOW

UTILITY DISCLAIMER

EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. DAMAGE TO EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.

GAINESVILLE DEPARTMENT OF WATER RESOURCES NOTES

THE GAINESVILLE DEPARTMENT OF WATER RESOURCES SHALL BE NOTIFIED 24 HOURS PRIOR TO ANY WATER AND SEWER LINE CONSTRUCTION OR REPAIRS. ONLY CONTRACTORS APPROVED BY GAINESVILLE DEPARTMENT OF WATER RESOURCES WILL BE ALLOWED TO PERFORM CONSTRUCTION OR REPAIRS CONNECTED TO SAID WATER OR SANITARY SEWER MAINS. CALL ENGINEERING INSPECTOR'S OFFICE AT (770) 538-2407 PRIOR TO BEGINNING CONSTRUCTION OR TO BECOME AN APPROVED CONTRACTOR.

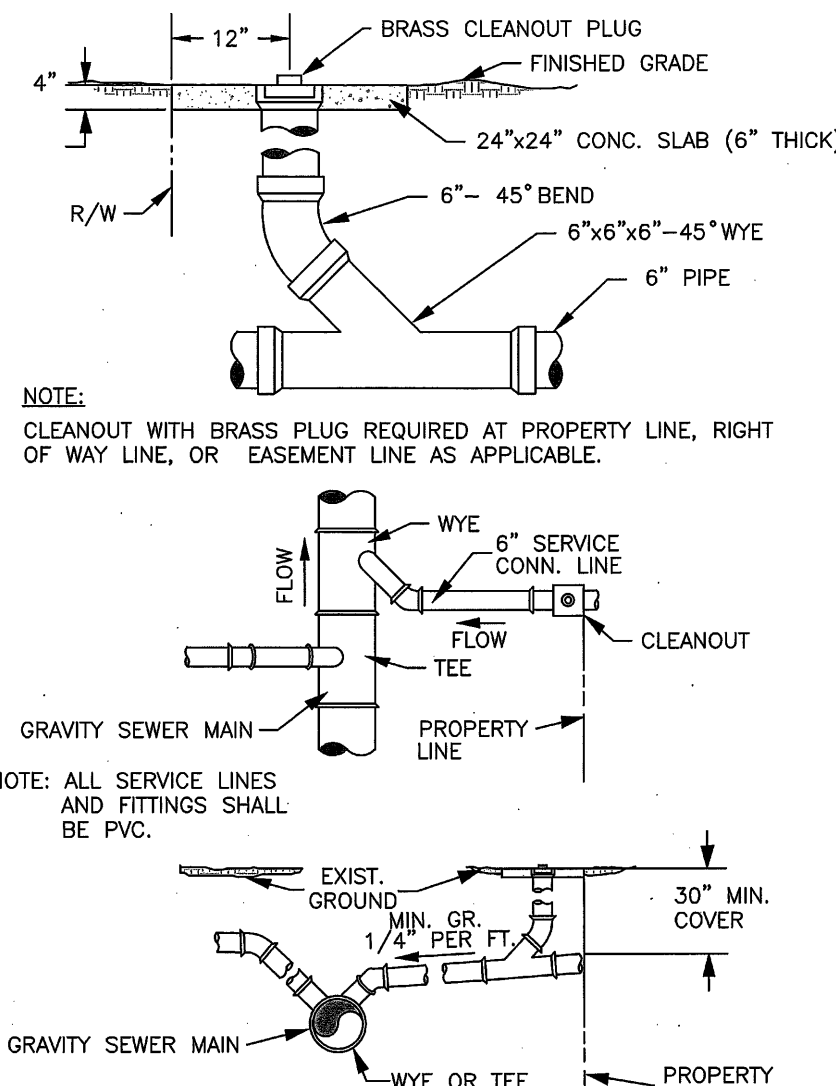
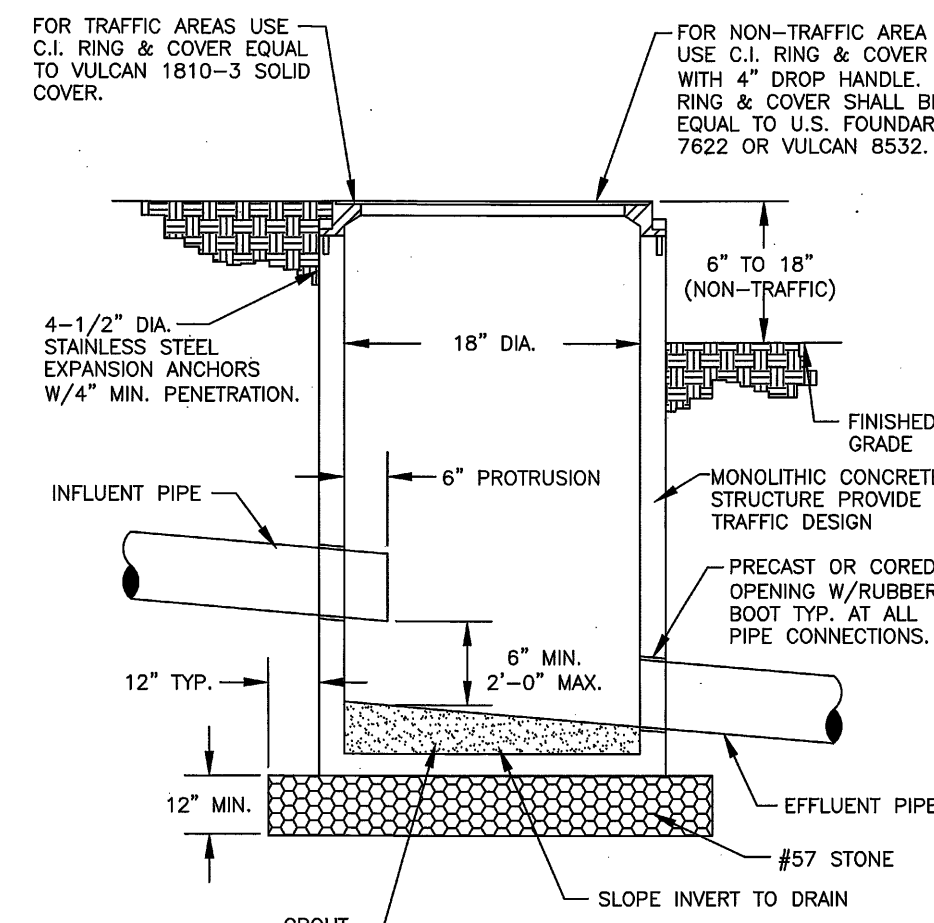
ALL WATER MAIN AND SANITARY SEWER MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF GAINESVILLE "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER MAINS AND SANITARY SEWERS, LATEST EDITION."

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A MARKED-UP SET OF DESIGN DRAWINGS SHOWING "AS-BUILT" CONDITIONS. THESE "RECORD DRAWINGS" SHALL BE MADE AVAILABLE TO THE DESIGNER AND/OR THE CITY INSPECTOR UPON REQUEST. THE MARK-UPS SHALL BE AT THE SITE AT ALL TIMES AND SHALL BE UTILIZED TO DEVELOP FINAL RECORD DRAWINGS. FINAL ACCEPTANCE OF WATER AND/OR SEWER MAIN CONSTRUCTION WILL NOT BE GRANTED UNTIL AS-BUILT DRAWINGS HAVE BEEN RECEIVED BY UTILITIES ENGINEERING AND PLANNING. OFFICE.

NEW 1-1/2" WATER METER TO BE SET BY CITY OF GAINESVILLE AT OWNER'S EXPENSE SEE ARCH. PLANS FOR UTILITY COORD.

NEW 1-1/2" RPZ BACKFLOW PREVENTER TO BE SET BY THE CONTRACTOR AT OWNER'S EXPENSE IN AN ABOVE GROUND, NON-FREEZING ENCLOSURE

6" PVC S.S. LATERAL SEE ARCH. PLANS FOR UTILITY COORD.



CLEAN OUT AND SERVICE CONNECTION DETAIL

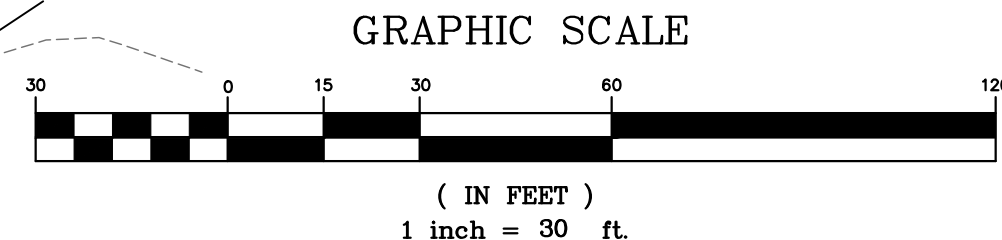
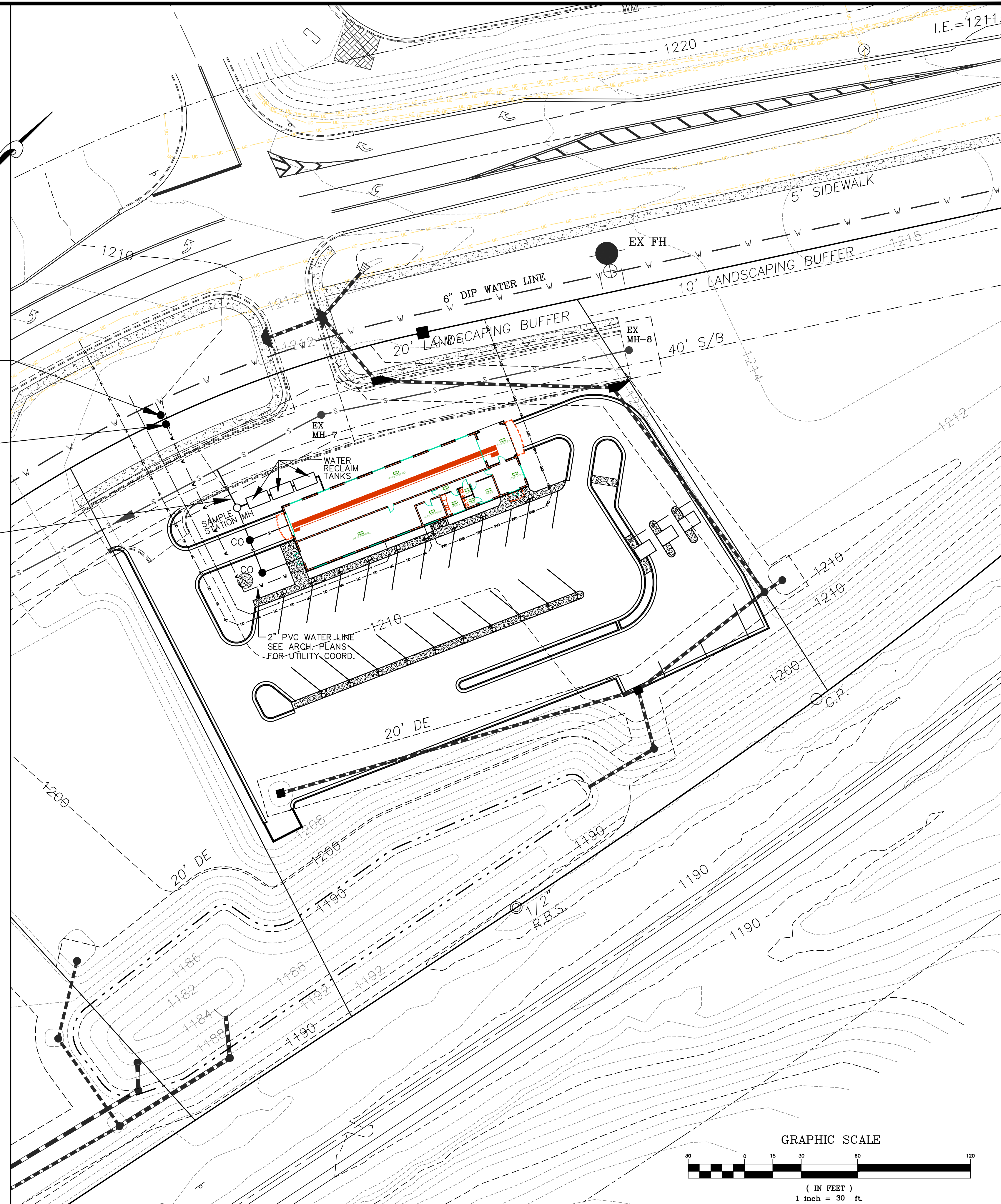
SCALE: NTS

CITY OF GAINESVILLE PUBLIC
UTILITIES DEPARTMENT
SAMPLE STATION MANHOLE
COMMERCIAL INSTALLATION
DATE: JAN 2013 SD-SS16

CITY OF GAINESVILLE PUBLIC
UTILITIES DEPARTMENT
CLEAN OUT
AND
SERVICE CONNECTION DETAIL
DATE: JAN 2013 SD-SS8

WATER AND SEWER NOTES

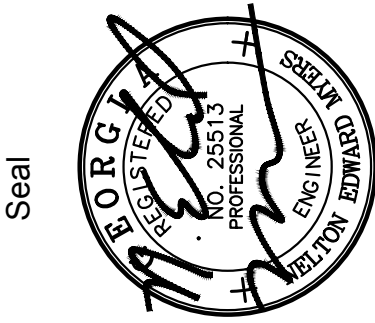
- 1) SANITARY SEWER TAP TO BE PAID FOR BY OWNER AND INSTALLED BY CITY OF GAINESVILLE.
- 2) SERVICE LATERAL SHALL BE SDR 26 PVC.
- 3) NO PRE-TREATMENT REQUIRED FOR THIS DEVELOPMENT.
- 4) 1-1/2" DOUBLE CHECK VALVE BACKFLOW PREVENTOR TO BE INSTALLED IN A SEPARATE VAULT BY CONTRACTOR
- 5) PRIOR TO BACKFLOW PREVENTOR INSTALLATION, CONTACT THE BACKFLOW INSPECTOR'S OFFICE AT (770) 297-5443
- 6) BACKFLOW PREVENTION DEVICE INSTALLATION REQUIRES A PLUMBING PERMIT TO BE OBTAINED FROM CITY OF GAINESVILLE BUILDING INSPECTIONS DEPARTMENT BY A MASTER PLUMBER.
- 7) 2" PVC WATER LINE SHALL BE SDR 13.5 WITH A PRESSURE RATING NOT LESS THAN 315 PSI.



Copyright

MYERS & CO. 2018 ANY, INC.
ALL RIGHTS RESERVED.
This drawing is the sole property of Myers & Co. 2018 ANY, INC. and is to be used only for the specific project and location identified herein. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Myers & Co.

Seal



CSWCC#21552

MYERS & CO.
civil engineers

P.O. BOX 634
GAINESVILLE, GA 30603
770-297-9793
ed@myers-and-co.com

Project Description

NEW HOLLAND CROSSING
LOT 3

XTREME CLEAN AUTO SPA

LAND LOT 123
9TH LAND DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

DATE 1-31-18

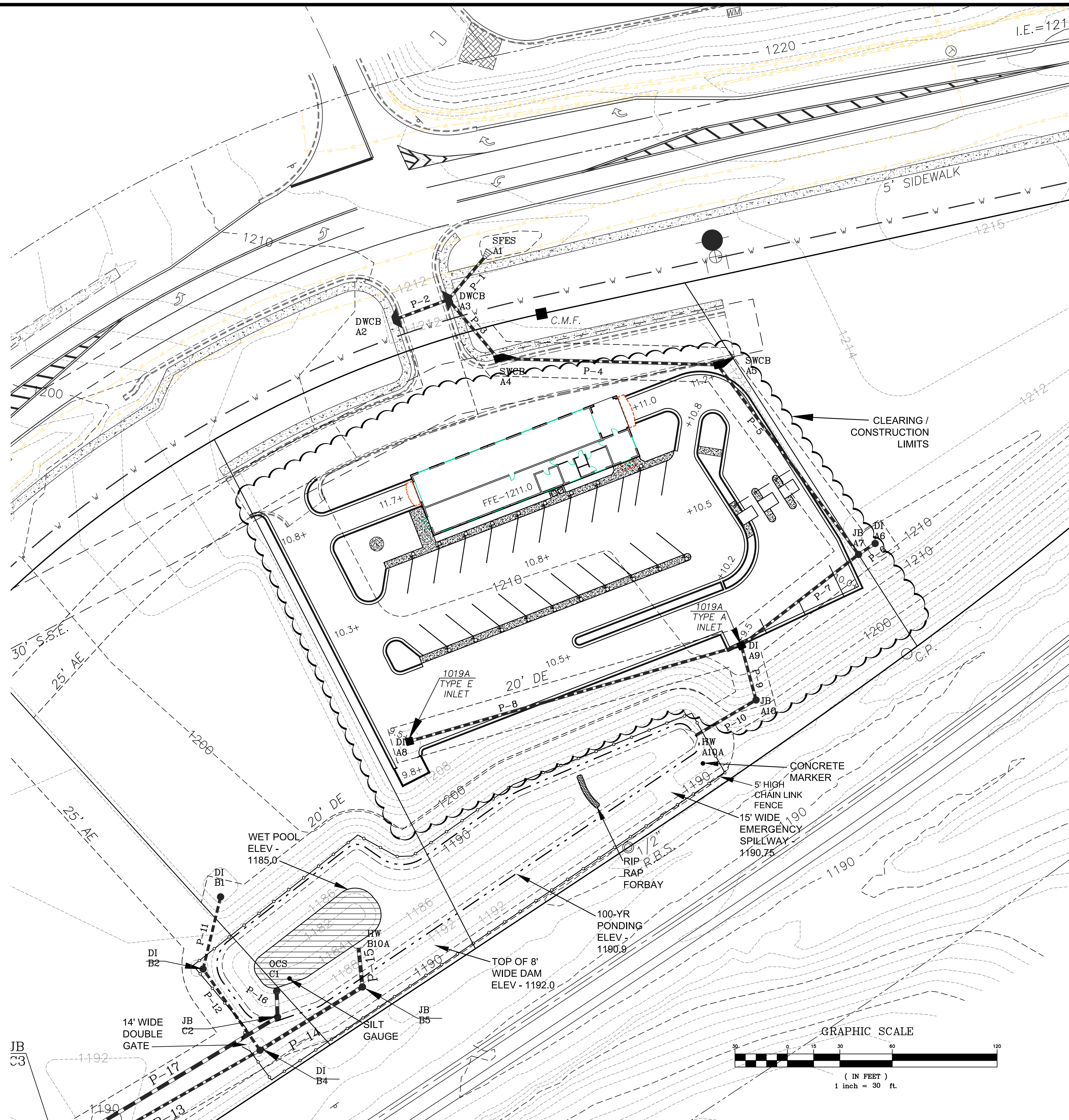
JOB NO. 18-02

Sheet Title
UTILITY
PLAN

Revisions

SHEET

C-4



CONTRACTOR TO PROVIDE POSITIVE DRAINAGE INTO ALL
STREETS, DROP INLETS, CATCH BASINS, ETC., FOR ALL
LOW AREAS AS REQUIRED DURING CONSTRUCTION.



MYERS & CO.
civil engineers

Lot	Description
NEW	HOLLAND CROSSING
LOT 3	
XTREME CLEAN AUTO SPA	
	LAND LOT 123
	9TH LAND DISTRICT
	CITY OF GAINESVILLE
	HALL COUNTY, GEORGIA

DATE 1-31-18

JOB NO. 18-02

Sheet Title

GRADING
PLAN

Revisions					
SHEET					
C-5					

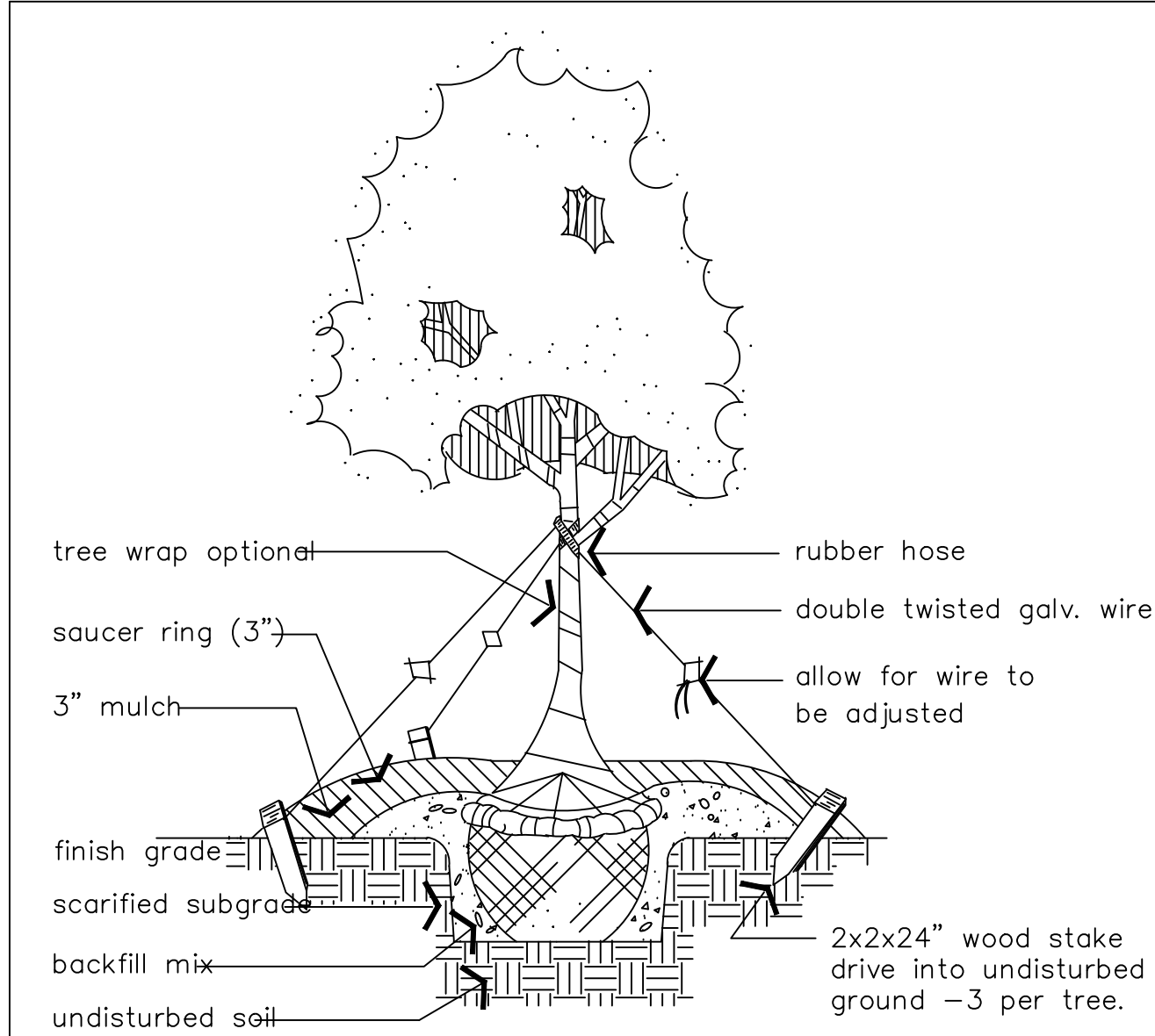
TREE DENSITY CALCULATIONS

PER NEW HOLLAND CROSSING OVERALL SITE PLAN, THE FRONTAGE TREES & BUSHES HAVE BEEN DESIGNED.

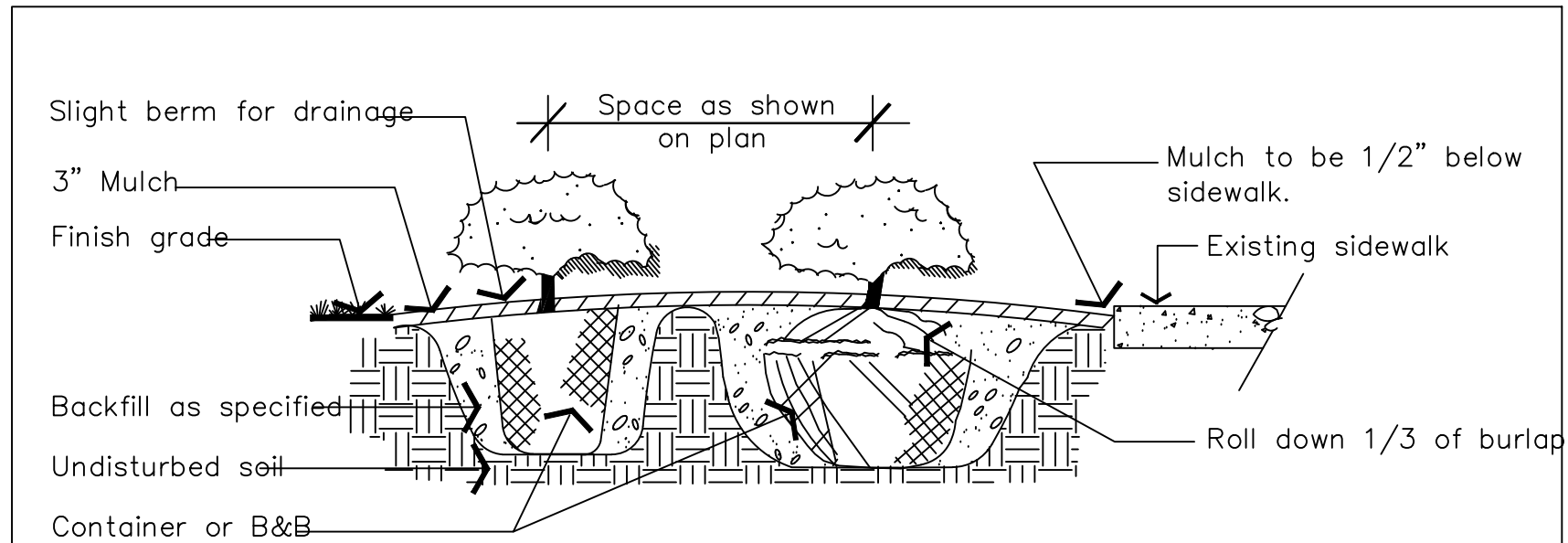
REMAINING UNITS REQUIRED FOR TREE DENSITY IS 28.4 UNITS.

50 - 2" CAL. TREES PROPOSED

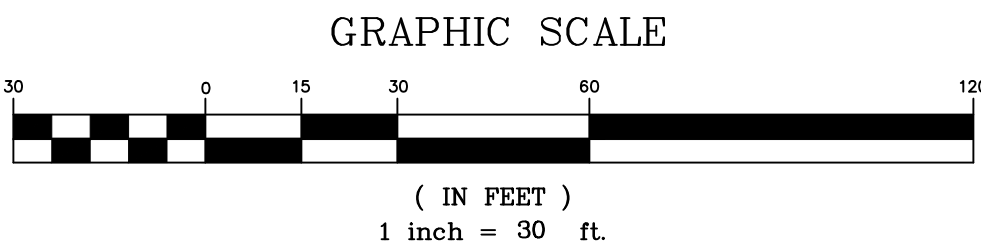
0.6 UNITS X 50 TREES = 30.0 UNITS



LARGE TREE PLANTING/GUYING DETAIL

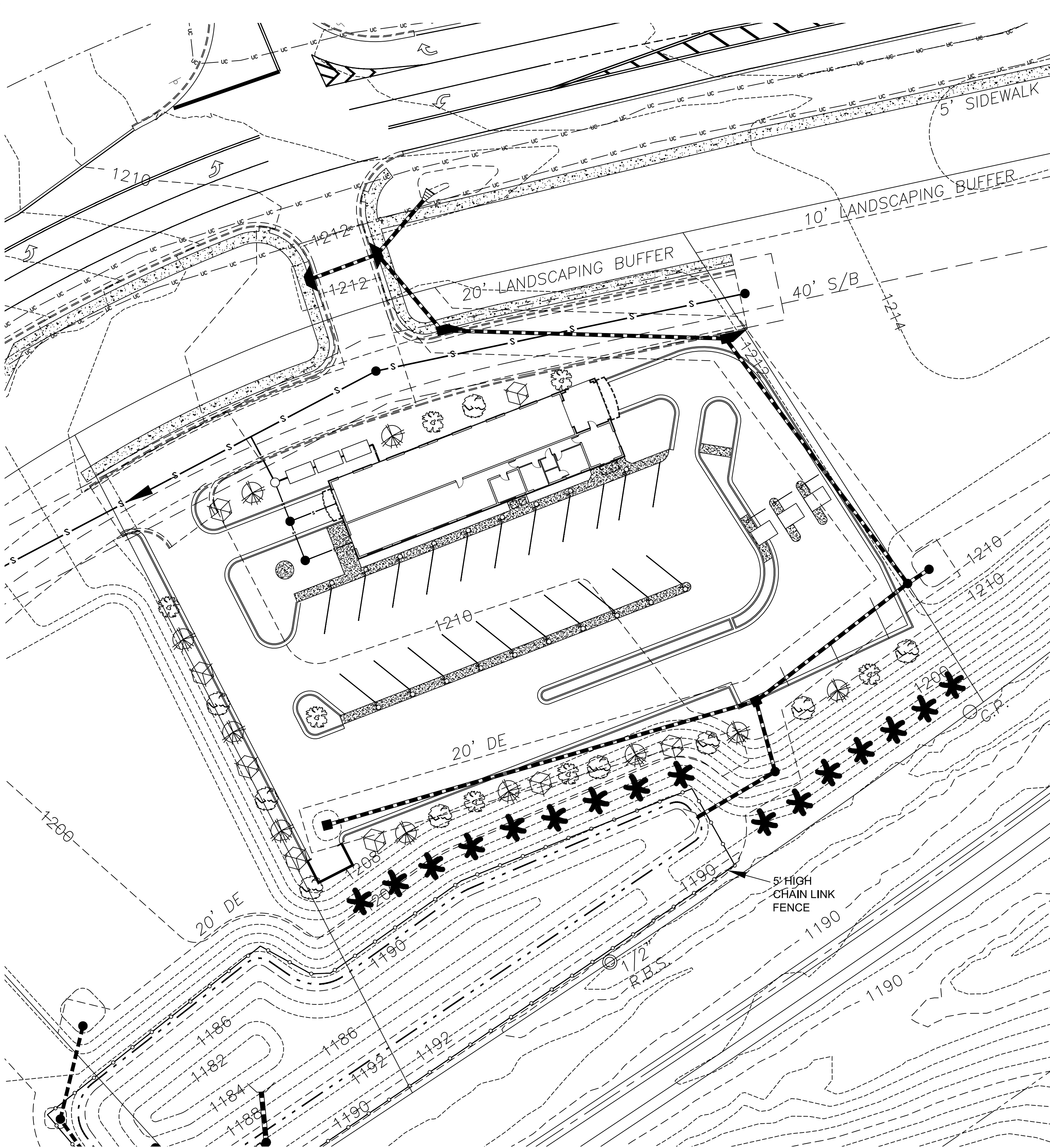


SHRUB/GROUNDCOVER PLANTING DETAIL



TREE & SHRUB SYM. QTY NAME

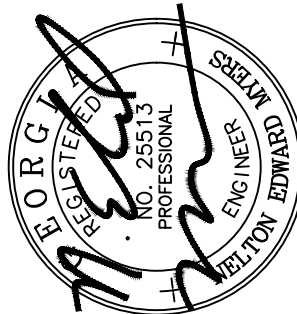
- | | | |
|--|----|-------------------|
| | 7 | AUTUMN MAPLE |
| | 8 | OKAME CHERRY TREE |
| | 9 | JAPANESE ZELCOVA |
| | 10 | SOURWOOD TREE |
| | 16 | LOBLOLLY PINE |



Copyright

MYERS & CO. ANY, INC.
ALL RIGHTS RESERVED.
This drawing is the sole property of Myers & Co. Any, Inc. and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Myers & Co.

Seal



CSWCC#21552

MYERS & CO.
civil engineers

P.O. BOX 634
GAINESVILLE, GA 30603
770-297-9793
ed@myers-and-co.com

Project Description

NEW HOLLAND CROSSING
LOT 3

XTREME CLEAN AUTO SPA

LAND LOT 123
9TH LAND DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

DATE 1-31-18

JOB NO. 18-02

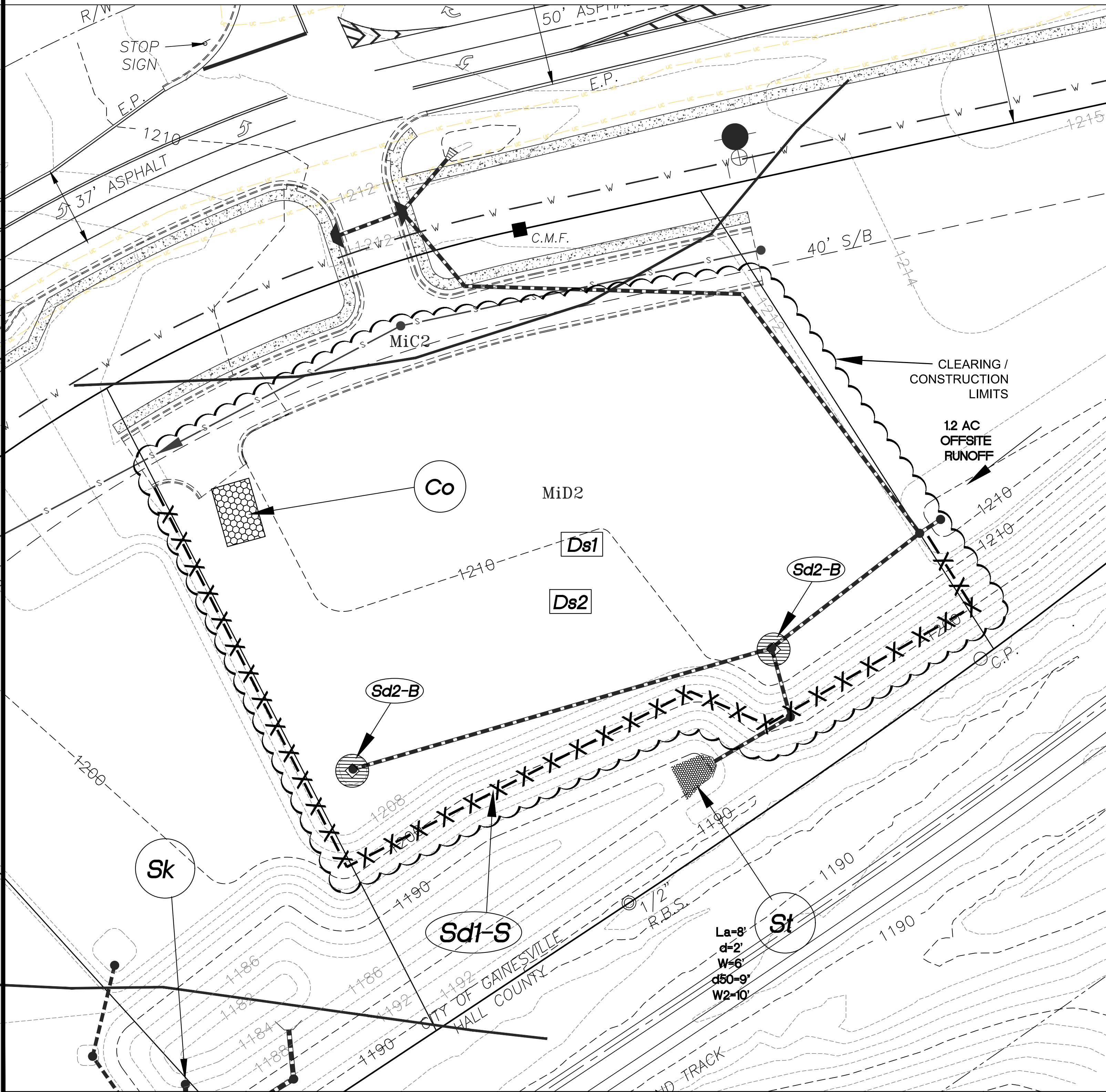
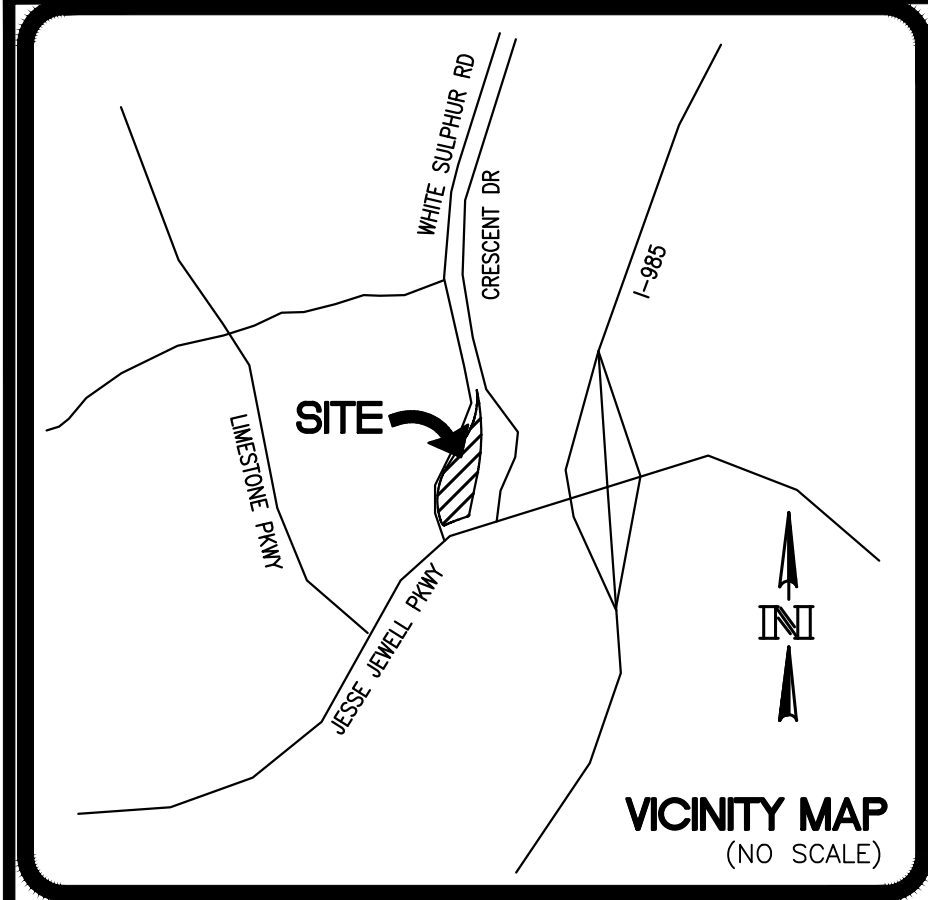
Sheet Title

LANDSCAPING
PLAN

Revisions

SHEET

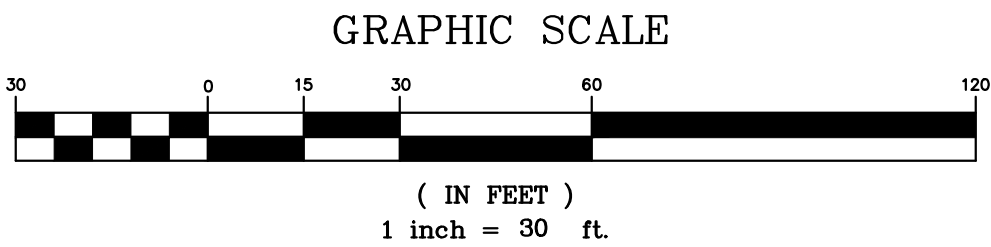
C-6



CONSTRUCTION SCHEDULE : AT THIS POINT, CONSTRUCTION IS TO BEGIN WITHIN (2) WEEKS OF PERMIT TIME. (ESTIMATED TO BE FEB, 2018)

	MONTH 1	MONTH 2	MONTH 3	MONTH 4
INSTALLATION OF CONSTRUCTION EXIT, PERIMETER SILT FENCE, INLET SEDIMENT TRAPS	■			
INSTALL SEDIMENT STORAGE BMPs	■			
GRADING	■	■	■	
TEMPORARY VEGETATION	■	■	■	
INSTALLATION OF UTILITIES		■	■	■
CONSTRUCTION OF BUILDING		■	■	■
CONSTRUCTION OF PARKING AREA		■	■	■
PERMANENT VEGETATION				■
REMOVE TEMP. EROSION MEASURES				■
MAINTENANCE OF EROSION CONTROL THROUGHOUT ENTIRE PROJECT	■	■	■	■

ALL EROSION CONTROL MEASURES SHALL BE REMOVED AT THE END OF THE PROJECT AFTER SITE IS STABILIZED.



SOILS INFORMATION:

Soil Series	Slope	Erodibility	Permeability (in./ Hrs.)	Depth to Bedrock	Depth to Water Table	Structure	Texture	Drainage	K-Factor
MIC2 - Madison sandy clay loam	6-10 %	Moderately Eroded	0.57-1.98	>80"	>80"	Subangular Blocky	Clay Loam	Well Drained	.28
MID2 - Madison sandy clay loam	10-15 %	Moderately Eroded	0.57-1.98	>80"	>80"	Subangular Blocky	Clay Loam	Well Drained	.28

Soils information was taken from "Soil Survey of Barrow, Hall and Jackson Counties, Georgia," by the U.S. Department of Agriculture Soil Conservation Service, and from the Manual for Erosion and Sediment Control in Georgia. Soils mapping was taken from Natural Resources Conservation Service Web Soil Survey. Soil Survey Area: Barrow, Hall and Jackson Counties, Georgia Soil Area Data: Version 8, October 23, 2017.

INITIAL EROSION CONTROL NOTES (CLEARING PHASE):

THE FOLLOWING EROSION CONTROL MEASURES MUST BE IMPLEMENTED OR ADDRESSED PRIOR TO OR CONCURRENT WITH THE BEGINNING PHASE OF LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES:

1. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR AND DESIGN ENGINEER.
2. ESTABLISH LOCATION OF STAGING AREAS, MATERIAL STORAGE AREAS, AND CONCRETE WASH OUT AREAS. NONE OF THESE AREAS SHALL BE LOCATED WITHIN 500 FT OF DESIGNATED TREE PROTECTION AREAS OR STREAM BUFFERS.
3. THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY MARKED AND REMAIN FOR THE DURATION OF CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
4. TREE PROTECTION FENCING AND STREAM BUFFER LIMITS SHALL BE INSTALLED AND MAINTAINED UNTIL FINAL LANDSCAPE IS INSTALLED.
4. A CONSTRUCTION EXIT SHALL BE PLACED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE. THE CONSTRUCTION EXIT SHALL BE PER THE DETAIL IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
5. TYPE "S" SILT FENCE SHALL BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE APPROVED PLAN. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SEDIMENT CONTROL DEVICES SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES SHOULD BE REPAIRED IMMEDIATELY.

AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES, THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROJECT DESIGN ENGINEER WITHIN 7 DAYS. IF UNFORESEEN CONDITIONS EXIST IN THE FIELD THAT WARRANT ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST ADD THE EROSION CONTROL DEVICES DEEMED NECESSARY BY DESIGN PROFESSIONAL.

AS CLEARING PERMITS, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT PONDS, DIVERSION DIKES AND OTHER EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED CLEARING PHASE PLAN. CONTRACTOR CAN USE CLEARED TREES AS BRUSH BARRIER SEDIMENT CONTROL IN AREAS WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.

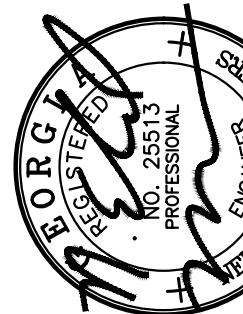
MULCHING OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND DISTURBANCE. (LOCAL ISSUING AUTHORITY MAY REQUIRED LESS TIME.)

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION.

Copyright

MYERS & CO. 2018 ANY, INC. ALL RIGHTS RESERVED. This drawing is the sole property of Myers & Co. and is to be used only for the specific project and location identified herein. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, or in any way without the written permission of Myers & Co.

Seal



CSWCC#21552 1-31-18

MYERS & CO.
civil engineers

P.O. BOX 634
GAINESVILLE, GA 30603
770-297-9793
ed@myers-and-co.com

Project Description

NEW HOLLAND CROSSING

LOT 3

XTREME CLEAN AUTO SPA

LAND LOT 123
9TH LAND DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

DATE 1-31-18

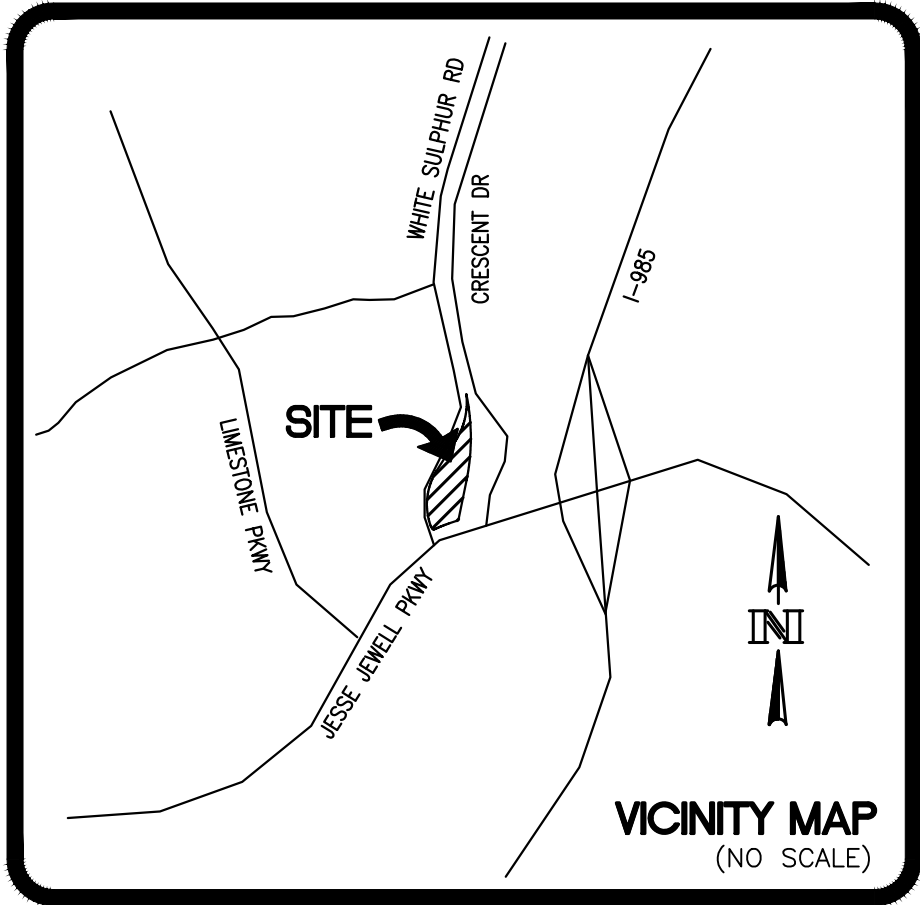
JOB NO. 18-02

Sheet Title
**INITIAL
EROSION
CONTROL PLAN**

Revisions

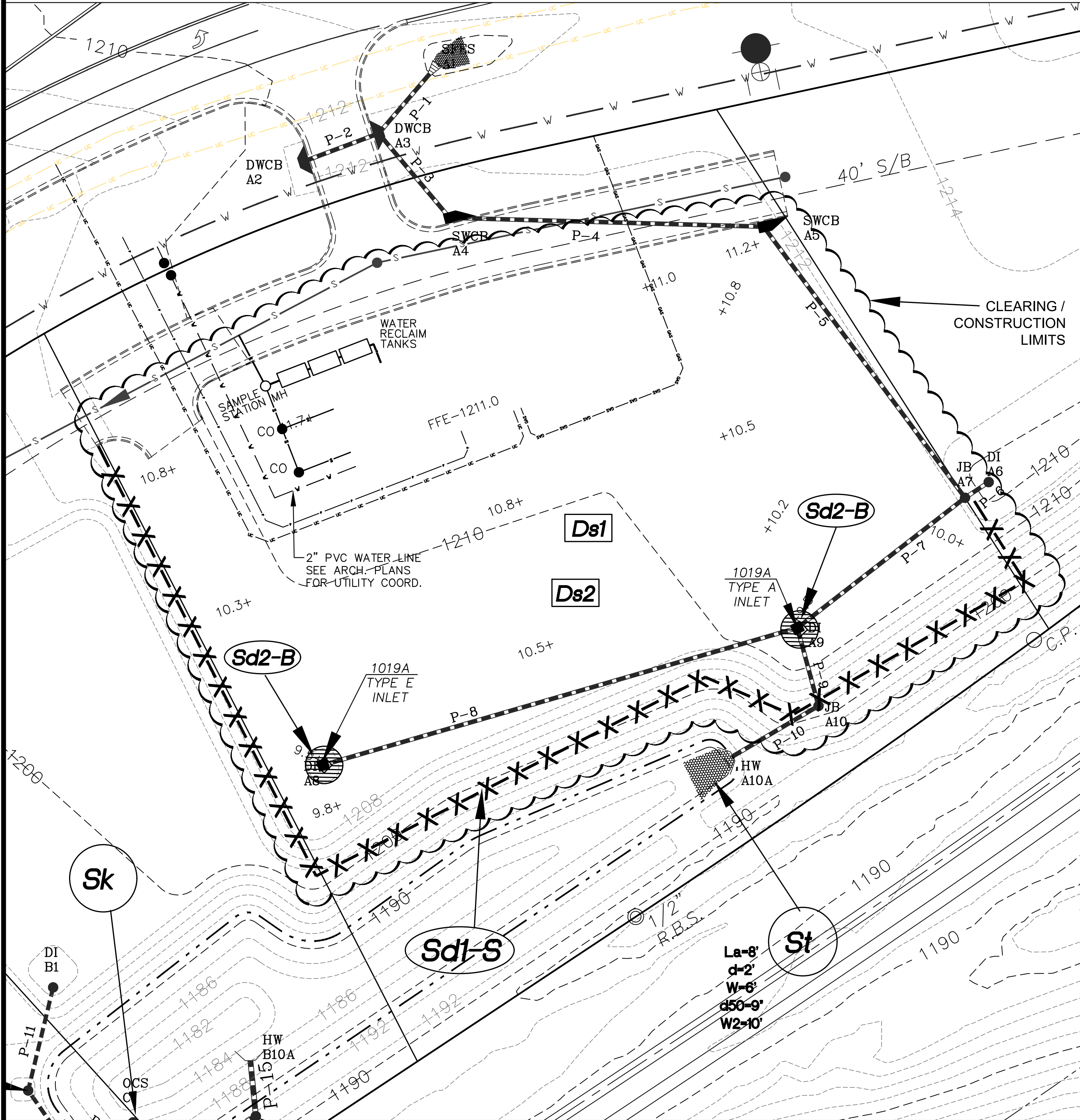
SHEET

EC-1



INTERMEDIATE EROSION CONTROL NOTES (GRADING PHASE):

- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED OR ADDRESSED DURING THE PRELIMINARY GRADING PHASE OF CONSTRUCTION:
1. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO ENSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND LIMITED DURATION BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED.
 2. EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID DUMPING OR SLOUGHING INTO THE BUFFER AREAS.
 3. SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO IT WILL NOT ENTER INLETS AGAIN.
 4. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.
 5. TYPE "S" SILT FENCE SHALL BE INSTALLED AT THE TOE OF ALL FILL SLOPES 10 FT. OR GREATER IN HEIGHT. THE SILT FENCE SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED ON THE SLOPE. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER.
 6. CUT AND FILL SLOPES ARE NOT TO EXCEED 2H:1V.
 7. ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF 10 FT. OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
 8. TYPE "NS" SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS.
 9. MULCHING OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND DISTURBANCE. (LOCAL ISSUING AUTHORITY MAY REQUIRED LESS TIME.)
 10. ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION.
 11. TEMPORARY SEDIMENT PONDS SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES 1/3 DEPTH OF BASIN.
 12. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 CAPACITY OF THE DEVICE.
 13. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.

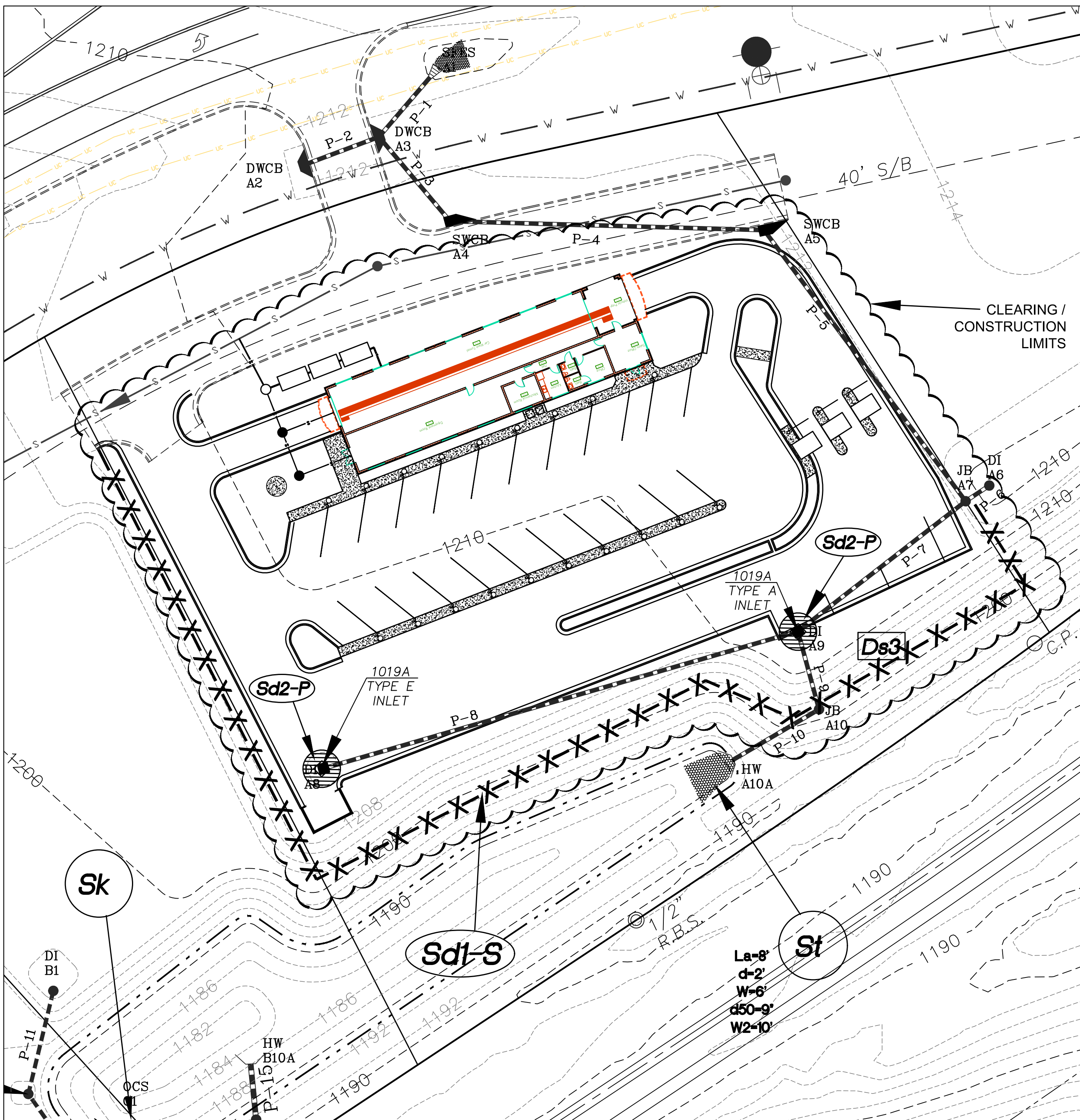


INTERMEDIATE EROSION CONTROL PLAN

RIPRAP APRON SUMMARY (St)						
HEADWALL ID	PIPE DIA. Do	RIPRAP SIZE d50	APRON LENGTH La	WIDTH OF APRON AT HW W= 3 X Do	WIDTH OF APRON DOWNSTREAM W2= La+Do	VELOCITY fps
PIPE 10	2'	0.75	8'	6'	10'	4.4 FPS

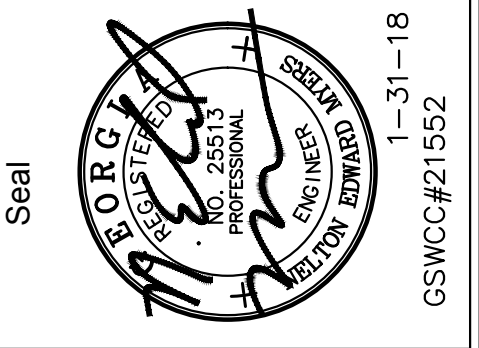
FINAL EROSION CONTROL NOTES (FINAL PHASE):

- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED OR ADDRESSED DURING FINAL GRADING PHASE OF CONSTRUCTION:
1. SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO IT WILL NOT ENTER INLETS AGAIN.
 2. TEMPORARY SEDIMENT PONDS SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES 1/3 DEPTH OF BASIN.
 3. AFTER CURBING, GAB, AND PAVEMENT HAS BEEN INSTALLED, ALL INLET SEDIMENT TRAPS ON SINGLE WING AND DOUBLE WING CATCH BASINS ALONG WITH ANY CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB FILTER INLET PROTECTION.
 4. ALL ROADWAY AND PARKING SHOULDERS SHALL BE APPLIED WITH PERMANENT VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.
 5. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 CAPACITY OF THE DEVICE.
 6. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 7. UPON COMPLETION OF THE PROJECT AND WHEN ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.



FINAL EROSION CONTROL PLAN

Copyright
MYERS & CO. 2018 ANY IN-STATE OR OUT-STATE REPRODUCTION OF THIS DRAWING IS THE SOLE PROPERTY OF MYERS & CO. ALL RIGHTS RESERVED. THIS DRAWING IS THE SOLE PROPERTY OF MYERS & CO. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF MYERS & CO. IS PROHIBITED. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF MYERS & CO. IS PROHIBITED.



MYERS & CO.
civil engineers
P.O. BOX 634
GAINESVILLE, GA 30603
770-297-9793
ed@myers-and-co.com

Project Description
NEW HOLLAND CROSSING
LOT 3
XTREME CLEAN AUTO SPA
LAND LOT 123
9TH LAND DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

DATE 1-31-18
JOB NO. 18-02
Sheet Title
INTERMEDIATE
FINAL EROSION
CONTROL PLAN

Revisions
SHEET
EC-2

NPDES PERMIT NOTES:

THESE PLANS HAVE BEEN PREPARED TO MEET THE REQUIREMENTS UNDER THE STATE OF GEORGIA, DEPT. OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION (EPD), GENERAL PERMIT NO. GAR 100003 FOR AUTHORIZATION TO DISCHARGE UNDER THE NPDES, STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FOR THIS PROJECT.

POND A JOHNS SHALL BE USED DURING CONSTRUCTION FOR FIELD PERSONAL TO HANDLE SEWER DISPOSAL. AFTER CONSTRUCTION, THE DEVELOPMENT WILL BE SERVED BY SANITARY SEWER PROVIDED BY THE CITY OF GAINESVILLE.

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

THIS ES&PC PLAN INCLUDES BMP'S THAT ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION & SEDIMENT CONTROL IN GEORGIA INCLUDING INITIAL PERIMETER CONTROL, INTERMEDIATE GRADING AND DRAINAGE BMP'S, AND FINAL BMP'S.

THE PRE-DEVELOPED RUNOFF COEFFICIENT OF THE SITE IS 0.25.
THE POST-DEVELOPED RUNOFF COEFFICIENT OF THE SITE IS 0.70.

THERE IS NO SAMPLING LOCATIONS (MONITORING POINTS) INCLUDED IN THIS PLAN.

POLLUTION CONTROL NOTES:

ALL SOLID WASTE IS TO BE PLACED IN DUMPSTERS AND HAULED OFF-SITE.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

A CONSTRUCTION EXIT IS PROVIDED TO MINIMIZE THE AMOUNT OF OFF-SITE VEHICLE TRACKING OF DIRT, SOILS, AND SEDIMENTS AND DUST GENERATION. THE CONSTRUCTION ENTRANCE/EXIT ALSO ACTS AS A FUELING AREA WHICH WILL PROVIDE REMEDIATION OF PETROLEUM SPILLS AND LEAKS.

MATERIAL MANAGEMENT PRACTICES:

1. STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
2. MATERIALS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL, UNLESS THEY ARE NOT RE-SEALABLE.
3. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED.
4. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
5. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL.
6. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

PETROLEUM PRODUCTS:

1. VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE.
2. STORE PETROLEUM PRODUCTS IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED.
3. ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURE RECOMMENDATIONS.

FERTILIZERS:

1. APPLY FERTILIZERS IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER.
2. WORK INTO SOIL TO PREVENT EXPOSURE TO STORM WATER.
3. STORE IN A COVERED SHED.
4. TRANSFER PARTIALLY USED BAGS TO A SEALABLE PLASTIC BIN.

PAINTS:

1. TIGHTLY SEAL AND STORE ALL CONTAINERS WHEN NOT IN USE.
2. PROPERLY DISPOSE OF EXCESS PAINT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

CONCRETE TRUCKS:

1. ESTABLISH A SINGLE WASH-OUT BASIN FOR CONCRETE TRUCKS.
2. SIZE AND LOCATION TO BE APPROVED BY REPRESENTATIVES OF THE APPROPRIATE JURISDICTION.
3. NO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER IS ALLOWED AT THIS LOCATION.
4. FOR FINAL CLEAN-UP, CONTRACTOR WILL REMOVE ALL CONCRETE SPOILS AND WASTE IN THE BASIN TO AN OFF-SITE LOCATION.
5. THE BASIN AREA WILL BE FILLED WITH DIRT, COMPACTED, GRADED, GRASSED AND RESTORED TO ORIGINAL CONDITION OR BETTER.

SPILL CLEANUP AND CONTROL PRACTICES

- LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
- SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.
- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675.
- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675.
- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS OCCUR, THE GEORGIA E.P.D. WILL BE CONTACTED WITHIN 24 HOURS.
- FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS OCCUR, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

GENERAL EROSION CONTROL NOTES:

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES:

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE:

'ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.'

CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES DAILY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

FAILURE TO PROPERLY INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED.

STREAM BUFFER NOTE:

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFER AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

CRITICAL WORK ZONE AREAS:

CRITICAL AREAS SHOWN ON PLANS SHALL BE MAINTAINED AS FOLLOWS:

THE CRITICAL AREA IN THIS PROJECT IS ALONG THE TOP OF SLOPE. CARE SHALL BE TAKEN TO KEEP THE RUNOFF FLOWING INTO THE STORM INLETS AND NOT OVERFLOWING THE SLOPE.

STORMWATER MANAGEMENT CONSIDERATIONS:

STORM WATER RUNOFF FROM THE PROJECT WILL FLOW INTO THE PROPOSED STORM WATER POND. POND A WILL BE A WET EXTENDED DETENTION POND. IT WILL CAPTURE THE MOST OF THE SITE AND ALL THE IMPERVIOUS AREAS. THE POND WILL PROVIDE WATER QUALITY FOR THE PROJECT.

THIS POND WILL ENSURE THAT THE DOWNSTREAM PROPERTY OWNERS ARE NOT ADVERSELY AFFECTED BY THE STORM WATER RUNOFF FROM THE DEVELOPMENT.

DISPOSAL OF DEBRIS

ALL SOLID WASTE IS TO BE PLACED IN DUMPSTERS AND HAULED OFF-SITE. THIS WASTE SHALL NOT BE DISCHARGED INTO STATE WATERS, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

TOP SOIL WILL BE SALVAGED, STOCKPILED AND SPREAD ON AREAS TO BE VEGETATED. TEMPORARY AND PERMANENT VEGETATION WILL BE ESTABLISHED AS EACH PHASE OF CONSTRUCTION IS COMPLETED. DEBRIS WILL NOT BE BURIED ON SITE. IT WILL BE HAULED OFF-SITE TO A STATE APPROVED LANDFILL.

DISTURBED AREA STABILIZATION

DISTURBED AREAS WILL BE STABILIZED ACCORDING TO THE PROCEDURES OUTLINED IN THE STATE OF GEORGIA MANUAL FOR EROSION AND SEDIMENT CONTROL. INITIAL DISTURBANCE WILL BE STABILIZED WITH MULCHING AND TEMPORARY GRASSING. AFTER FINAL GRADING HAS BEEN COMPLETED, PERMANENT GRASSING WILL BE USED FOR STABILIZATION.

Secondary Permittee.

(1). Each day when any type of construction activity has taken place at a secondary permittee's site, certified personnel provided by the secondary permittee shall inspect: (a) all areas used by the secondary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the secondary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(2). Certified personnel (provided by the utility companies and utility contractors if they are secondary permittees) shall inspect the following each day any type of construction activity has taken place at the construction site:

(a) areas of the construction site disturbed by the utility State of Georgia Environmental Protection Division companies and utility contractors that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region;

(b) areas used by the utility companies and utility contractors for storage of materials that are exposed to precipitation that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; and

(c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the utility companies and utility contractors' construction activities shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing service line installations or when conducting repairs on existing line installations.

(3). Certified personnel (provided by the secondary permittee) shall inspect the following at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, during non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first):

(a) disturbed areas of the secondary permittee's construction site ;

(b) areas used by the secondary permittee for storage of materials that are exposed to precipitation ; and

(c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the secondary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation or established a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.b.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(4). Certified personnel (provided by the secondary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(5). Based on the results of each inspection, the secondary permittee must notify the primary permittee within 24-hours of any suspected BMP design deficiencies. The primary permittee must evaluate whether these deficiencies exist within 48-hours of such notice, and if these deficiencies are found to exist must amend the Plan in accordance with Part IV.C. of this permit to address those deficient BMPs within seven (7) days of being notified by the secondary permittee. When the Plan is amended, the primary permittee must submit a copy of the amendment to the secondary permittee(s) within this seven (7) day period. The secondary permittees must implement any new Plan requirements affecting their site(s) within 48-hours of notification by the primary permittee.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.b.(5), of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.

Retention of Records

2. Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD
- b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit;
- c. A copy of all inspection reports generated in accordance with Part IV.D.4.b. of this permit;
- d. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.

2. Copies of all Notices of Intent, Notices of Termination, reports, plans, monitoring reports, monitoring information, including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this These records must be maintained at the permittee's primary place of business or at a designated alternative location once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

MULCHING ONLY	Ds1
TEMPORARY PROTECTION OF CRITICAL AREAS WITHOUT SEEDING BY APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, NOT PRODUCED ON THE SITE, TO THE SOIL SURFACE.	

TEMPORARY GRASSING

Ds2

TEMPORARY GRASSING SHALL CONSIST OF SOWING A QUICK GRASS SUCH AS RYE GRASS, BROWN TOP MILLET, OR A GRASS SUITABLE TO THE AREA AND SEASON. LIME AND FERTILIZER WILL BE OMITTED. MULCH IS NOT REQUIRED BUT SHOULD BE USED AS DICTATED BY EXISTING SITE CONDITIONS.

SPECIES	RATE	PLANTING DATE
RYE	40-50#/AC.	AUGUST THRU MARCH
BROWNTOP MILLET	30-40#/AC.	APRIL THRU JULY

PERMANENT GRASSING:

Ds3

PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING AND FERTILIZATION, SEEDING, AND MULCHING.

THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND - FERTILIZER AT A RATE OF 1500#/AC. AND LIME AT 4000#/AC. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM BEING FREE OF ROCKS, CLOUDS, ROOTS, ETC. FERTILIZER MIXED GRADE SHALL BE EITHER 6-12-12 OR 5-10-15. SEEDING SHALL BE DONE WITHIN 24 HOURS OF THE FERTILIZER APPLICATION. WEATHER PERMITTING, SEED SHALL BE UNIFORMLY SPREAD AT THE RATE SHOWN BELOW. MULCHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER THE AREA LEAVING APPROXIMATELY 25% OF THE GROUND SURFACE EXPOSED. THE RATE OF APPLICATION SHALL BE DOUBLED ON SIDE SLOPES 4:1 AND STEEPER. MULCH RATE SHALL BE 5000# /ACRE.

SPECIES	RATE	PLANTING DATE
HILLED COMMON BERMAUDA GRASS	10#/AC.	3/1 - 6/15
UNHILLED COMMON BERMAUDA GRASS	10#/AC.	AUGUST THRU JANUARY
FESCUE	50#/AC.	9/1 THRU 10/31

SODDING:

Ds4

PERMANENT VEGETATIVE COVER SHALL CONSIST OF SODS ON HIGHLY ERODIBLE LAND, SUCH AS DROP INLETS OR GRASS SWALES.

SELECT SOD GROWN IN THE GENERAL AREA OF PROJECT. LAY SOD WITH TIGHT JOINTS AND IN STRAIGHT LINES. ON SLOPES STEEPER THAN 3:1 SOD SHOULD BE ANCHORED WITH PINS. IRRIGATE SOD AND SOIL TO A DEPTH OF 4" IMMEDIATELY AFTER INSTALLATION.

CITY OF GAINESVILLE EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
2. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
3. MAINTENANCE OF ALL EROSION CONTROL MEASURES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE OWNER.
4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
6. ALL FILL SLOPES SHALL HAVE SILT FENCE AT TOE OF SLOPES.
7. NO CUT OR FILL SLOPES STEEPER THAN 2:1 ARE ALLOWED.
8. THE CONTRACTOR WILL ARRANGE A PRE-CONSTRUCTION MEETING WITH PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING LAND DISTURBANCE.
9. SITE IS NOT LOCATED WITHIN 200 FEET OF STATE WATERS.
10. A 50 FOOT UNDISTURBED VEGETATIVE BUFFER AND A 75' IMPERVIOUS BUFFER ADJACENT TO ALL RUNNING STREAMS AND CREEKS WILL BE LEFT MAINTAINED. NO NON-EXEMPT ACTIVITIES SHALL TAKE PLACE IN THE BUFFER AREAS WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
11. THIS SITE DOES NOT CONTAIN WETLANDS.
12. THIS PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD PLAIN PER FIRM PANEL NO.13139 C 0183 F, EFFECTIVE DATE: SEPTEMBER 29, 2006.
13. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN THREE (3) DAYS AFTER GRADING IS COMPLETED.
14. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
15. STUMPS AND CONSTRUCTION DEBRIS SHALL BE DEPOSITED IN A PROPERLY PERMITTED LANDFILL.
16. A DOUBLE ROW OF TYPE "S" SILT FENCE SHALL BE REQUIRED WHEN PLACED WITHIN 200' OF STATE WATERS AND AT THE TOE OF SLOPES GREATER THAN 10' IN HEIGHT.
17. STORM DRAIN PIPES WILL BE CLASS III REINFORCED CONCRETE PIPE (RCP), TYPE II ALUMINIZED CORRUGATED METAL PIPE (CMP) OR HDPE. ALL STORM DRAIN STREET CROSSINGS SHALL BE CLASS III RCP.
18. THE PIPED STORM WATER SYSTEMS WERE DESIGNED FOR A 25-YEAR STORM. CROSS DRAINS WERE DESIGNED FOR A 100-YEAR STORM.
19. ALL DETENTION FACILITIES WHETHER A POND OR UNDERGROUND & STORM WATER PIPING SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
20. THE CLEARING LIMITS WILL BE CLEARLY LOCATED IN THE FIELD. NO CONSTRUCTION ACTIVITY WILL TAKE PLACE OUTSIDE OF THE CLEARING LIMITS.
21. THIS SITE DOES NOT CONTAIN ANY KNOWN CEMETERIES.
22. NO VEGETATION OR STRUCTURES EXCEEDING 30" IN HEIGHT SHALL BE LOCATED WITHIN THE SIGHT TRIANGLE EASEMENT. THE EASEMENT SHALL PROVIDE RIGHT OF ENTRY TO THE CITY OF GAINESVILLE FOR THE PURPOSE OF REMOVING ANY OBJECT OR VEGETATION THAT RESTRICTS THE CLEAR SIGHT.

PROJECT NARRATIVE

SECONDARY PERMITTEE:

WINKLER & WINKLER
423 BOWLING GAP CIRCLE
BLAIRSVILLE, GA 30512
CONTACT: CHAD WINKLER
24 HOUR PHONE NUMBER: 706-835-1485

PROJECT DESCRIPTION: THIS PHASE OF THE PROJECT CONSISTS DEVELOPING A CAR WASH FACILITY ON LOT 3. THE TOTAL AREA OF THE SITE IS 1.98 ACRES. THE DISTURBED AREA IS 0.9 ACRES. EARTHWORK VOLUMES ARE 200 CY OF CUT / FILL THAT WILL BALANCE ON THE SITE.

GPS COORDINATES OF SITE EXIT: 34.316599' -83.79415'

PROJECT RECEIVING WATER: TRIBUTARY OF LIMESTONE CREEK

THE ENTIRE DEVELOPMENT DRAINS TO THE SOUTH INTO THE DITCH ALONG JESSE JEWELL PARKWAY AND FLOWS WEST. ALL THE IMPERVIOUS AREAS FLOW INTO THE WET POND ON THE PROPOSED DEVELOPMENT. THIS POND WILL PROVIDE DETENTION AND WATER QUALITY FOR THE PROJECT.

SITE NOTES:
SITE IS NOT LOCATED WITHIN 200 FEET OF STATE WATERS.
SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFER.
SITE DOES NOT CONTAIN WETLANDS.
THE SITE DOES NOT DISCHARGE STORM WATER INTO AN IMPAIRED STREAM SEGMENT WITHIN A MILE DOWNSTREAM OF THE PROJECT.
NO ALTERNATIVE BMPs ARE USED IN THE DESIGN FOR THIS PROJECT.
THE SITE DOES NOT DISTURB MORE THAN 50 ACRES.
NO BUFFER ENCROACHMENTS ARE REQUIRED.

OWNER/DEVELOPER:

XTREME CLEAN AUTO SPA
CONTACT: BRENT GARRETT
PHONE: 770-534-9173

DESIGNER:

MYERS & CO., INC.
P.O. BOX 634
GAINESVILLE, GEORGIA 30503
PHONE: (770) 297-9793
CONTACT: ED MYERS

CONTRACTOR:

WINKLER & WINKLER
423 BOWLING GAP CIRCLE
BLAIRSVILLE, GA 30512
PHONE: 706-835-1458
24 HOUR CONTACT: CHAD WINKLER

BMP INSPECTION NOTE:

UPON NOTIFICATION BY THE PRIMARY PERMITTEE, THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN SHALL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN SEVEN (7) DAYS AFTER INSTALLATION.

NPDES DESIGN PROFESSIONAL CERTIFICATIONS:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."

Ed Myers
DESIGN PROFESSIONAL GWSCC#21552

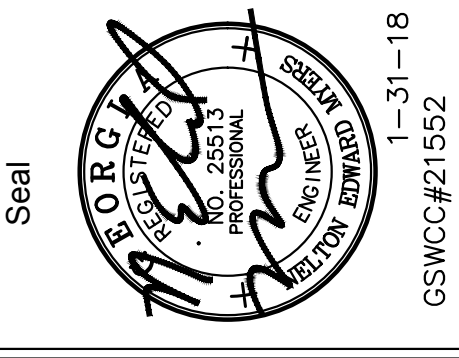
"I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"(MANUAL) PUBLISHED BY THE STATE SOIL & WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001."

Ed Myers
DESIGN PROFESSIONAL GWSCC#21552

TOTAL SEDIMENT STORAGE PROVIDED = 750 CY IN POND A.

Copyright

Seal



MYERS & CO.
civil engineers

770-297-9793
ed@myers-and-co.com

P.O. BOX 634
GAINESVILLE, GA 30603

Project Description
NEW HOLLAND CROSSING
LOT 3

XTREME CLEAN AUTO SPA

LAND LOT 123
9TH LAND DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

DATE 1-31-18

JOB NO. 18-02

Sheet Title

EROSION
CONTROL NOTES

Revisions

SHEET

EC-3

